

**TOWNSHIP OF SOUTH FRONTENAC
COUNCIL MEETING
AGENDA**

TIME: 7:00 PM,
DATE: Tuesday, July 5, 2016
PLACE: Council Chambers.

1. Call to Order
 - a) Resolution
2. Declaration of pecuniary interest and the general nature thereof
3. Scheduled Closed Session- n/a
4. ***Recess *** - n/a
5. Delegations
 - a) Darren Carl and Mark Feenstra, Canadian Solar, re: Next Round of LRP 4 - 14
 - b) Mike Keene, re: Stricelj Rezoning 15 - 30
6. Public Meeting
 - a) Resolution
 - b) Review of Proposed Zoning By-law Amendment , Part Lot 20, Concession IX, Storrington 31 - 70
 - c) Review of Proposed Zoning By-law Amendment, Part of Lot 11, Concession 1, Storrington 71 - 83
7. Approval of Minutes
 - a) Minutes of the June 21, 2016 Council meeting 84 - 90
8. Business Arising from the Minutes
 - a) Lindsay Mills, Planner, re: Request for permission to hold a Special Event Concert on Part Lot 13 Concession VII, Storrington District - Vezeau 91 - 93
 - b) Lindsay Mills, Planner, re: Site Plan Agreement in Part of Lot 2, Concession IV, Loughborough - Silver 94 - 98
 - c) Wayne Orr, Chief Administrative Officer, re: Notice of Motion - Young - Leland Road Legal Fees 99
 - d) Wayne Orr, Chief Administrative Officer, re: Notice of Motion - Hartington Subdivision 100
9. Reports Requiring Action
 - a) Tim Laprade, Arena and Recreation Supervisor, re: Ontario East 101 - 103

Regional Agility Competition Noise and Camping Exemptions

b)	Tim Laprade, Arena and Recreation Supervisor, re: Permission to Serve Alcohol at the Stantive Technologies Staff BBQ	104 - 106
c)	Mark Segsworth, Public Works Manager, re: Purchase of AVL from Tyroute Communications	107 - 108
d)	Louise Fragnito, Treasurer, re: 2017 Budget Cycle	109
e)	Wayne Orr, Chief Administrative Officer, re: Verona Medical Lease	110
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b)	By-law 2016-42 - Con IX, Part Lot 20, Storrington - Stricelj	117 - 118
c)	By-law 2016-43 - Site Plan Agreement - Silver	119 - 146
12.	<u>Reports for Information</u>	
a)	Accounts Payable and Payroll Listing	147 - 162
b)	Louise Fragnito, Treasurer, re: Annual Repayment Limit in respect to long-term debt and financial obligations	163 - 165
c)	Louise Fragnito, Treasurer, re: Changes to Development Charges reporting requirements	166 - 167
d)	Louise Fragnito, Treasurer, re: 2016 Student Funding	168
e)	Mark Segsworth, Public Works Manager, re: PW-2016-13 Tender to Replace Salmon Lake Road culvert	169
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b)	Carina Promm, Ernestown Secondary School, re: Thanks to Planning Department staff	171
c)	Mayor Ron Higgins, Township of North Frontenac, re: Requesting Support with regards to responding to Medical Calls	172
d)	Jim Cassimatis, Assistant Deputy Minister, MMAH re: Proposed Amendments to the Residential Tenancies Act	173 - 188
14.	<u>Notice of Motions</u>	
15.	<u>Announcements</u>	
16.	<u>Question of Clarity (from the public on outcome of agenda items)</u>	
17.	<u>Closed Session (if requested)</u>	
18.	<u>Confirmatory By-law</u>	
a)	By-law 2016-44	189
19.	<u>Adjournment</u>	
a)	Resolution	



Township of South Frontenac Council Delegation Meeting – IESO LRP II



July 5, 2016

Introductions

- ◆ **Canadian Solar Solutions Inc. :**

- Mark Feenstra – Sr. Manager, Project Development, Canada Region
- Darren Carl – Business Development Associate

- ◆ **Suncor Energy Products Inc.:**

- Chris Scott – Senior Engineer, Renewable Energy

Suncor Energy Products Inc.

- ◆ Suncor Energy is Canada's leading integrated energy company. Suncor's operations include oil sands development and upgrading, conventional and offshore oil and gas production, petroleum refining, and product marketing under the Petro-Canada brand. Developing renewable energy is part of Suncor's longstanding climate change action plan.
- ◆ To foster relationships with stakeholders, Suncor has developed a set of guiding principles for our engagement efforts:

Respect

Responsibility

Responsiveness

Transparency

Timeliness

Mutual Benefit

- ◆ Suncor's vision is to be trusted stewards of valuable natural resources:

Guided by our values, we will lead the way to deliver economic prosperity, improved social well-being and a healthy environment for today and tomorrow.



Canadian Solar Solutions Inc.

- ◆ Founded in 2001 in Canada, Canadian Solar is one of the world's largest and foremost solar power companies. As a leading manufacturer of solar photovoltaic modules and a provider of solar energy solutions, Canadian Solar has a geographically diversified pipeline of utility-scale power projects. In the past 14 years, Canadian Solar has successfully deployed over 14 GW of premium quality modules in over 70 countries around the world. Furthermore, Canadian Solar is one of the most bankable companies in the world, having been publically listed on NASDAQ since 2006.
- ◆ We offer our customers the opportunity to invest in utility-scale solar power plants. With a successful track record developing, engineering, constructing and connecting over 1.8-gigawatts (GW), Canadian Solar stands out as one of the leading solar developers globally. Companies like BlackRock, Samsung and TransCanada are among our list of customers that rely on us to deliver reliable solar solutions. In addition, we help boost the social responsibility profile of any portfolio providing advanced solar solutions that enable sustainable development worldwide.

Why are we back?

◆ Large Renewable Procurement I (LRP I) Debrief

- Acknowledge concerns from the LRP I process and Collins Lake Solar.

◆ LRP II Kick Off

- An additional 250 MW of ground mounted solar offered by the Independent Electricity System Operator (IESO).
- LRP III cancelled.

◆ Discussions with the public regarding Collins Lake Solar

- Talk with the community about updating the project

◆ Future Development Opportunities

- Talk with the Township and public about additional locations which are suitable for solar development

◆ Provide a more Transparent and Open Approach to Public Consultation

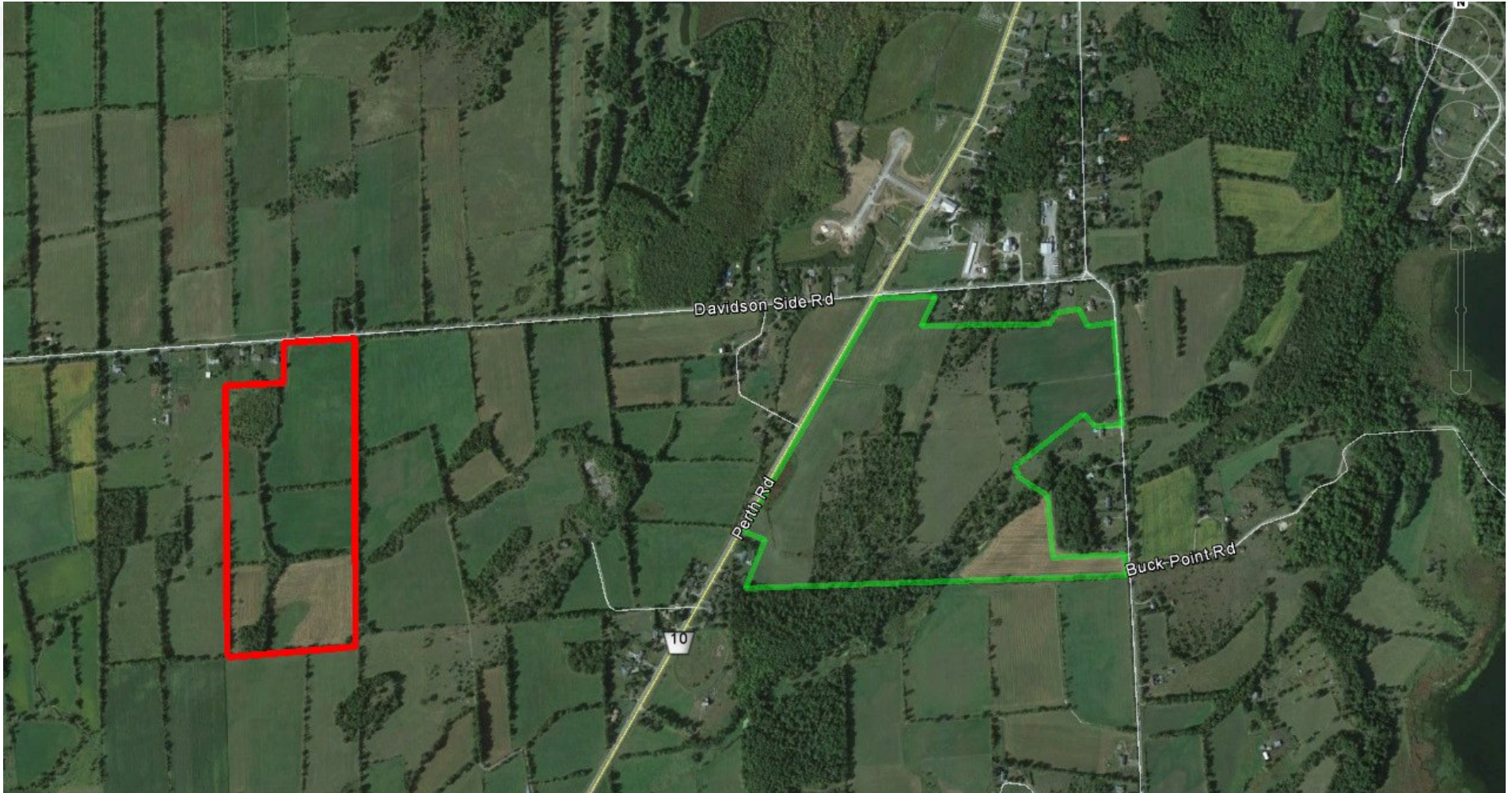
IESO LRP II Timeline and Potential Project Schedule

LRP I Contract Award Offers	March 10, 2016
Final LRP II Request for Qualifications (RFQ) to be issued	August 2016
LRP II RFQ Opens	Q4 2016
Final LRP II Request for Proposals (RFP) to be issued	Q2 2017
LRP II RFP Submission Deadline	Q3-Q4 2017
LRP II RFP Contract Offers – 250 MW (Ground mount solar)	May 2018

Collins Lake Solar LP Project Details

Project Location	Located on two properties south of the community of Inverary
Land Agreement(s) (acres)	Lease Agreements (~100 acres project area)
Project Size	13 MW
Property Zoning	Rural
Canada Land Inventory	Class 4 Soils
Project Updates	Open to discussions on updates to the project to accommodate public concerns or new locations

Collins Lake Solar Project



Community Consultation

Your feedback is important. Below is a list of concerns raised during the LRP 1 Process:

Visual impact	Reduce visual impacts of project by creating Visual Impact Assessments with buffer plans and setbacks.
Distance to Inverary	Eastern project property very close to the community of Inverary and future development opportunities. Want to work with the Township and public on alternatives for this property.
Construction impacts	Seeking an agreement with the Township of South Frontenac to address Storm Water, Road Impacts, and other operational concern. Maintaining the integrity of Davidson Side Road a priority.
Environmental concerns	Continue to work with landowners to discuss environmental concerns and the Renewable Energy Approval (REA) process

Next Steps

- ◆ **Re-Introduce ourselves to the community**
- ◆ **Discussions with the community about the Collins Lake Solar project**
- ◆ **Meet with the Township about other potential opportunities**
- ◆ **Consultation to begin well in advance of the LRP II program opening for submissions**



Thank you
Q&A



1610 DON MOORE LANE

Application for:
Zoning By-Law Amendment

Applicant:
Don Stricelj

FOTENN

Context

- 0.6 ha (1.5 ac) property on Dog Lake
- Access from Don Moore Lane
- Surrounded by waterfront residential
- The Site was developed in a previous era, before the 30m setback came into effect



2nd Storey Addition

- Pylon foundation replaced
- Built over existing footprint
- Uses natural materials
- Does not further encroach on water
- Constructed without approval over existing footprint
- Evaluated in terms of planning merits



Rear Addition

- 1 1/2 storey addition at rear with attached carport



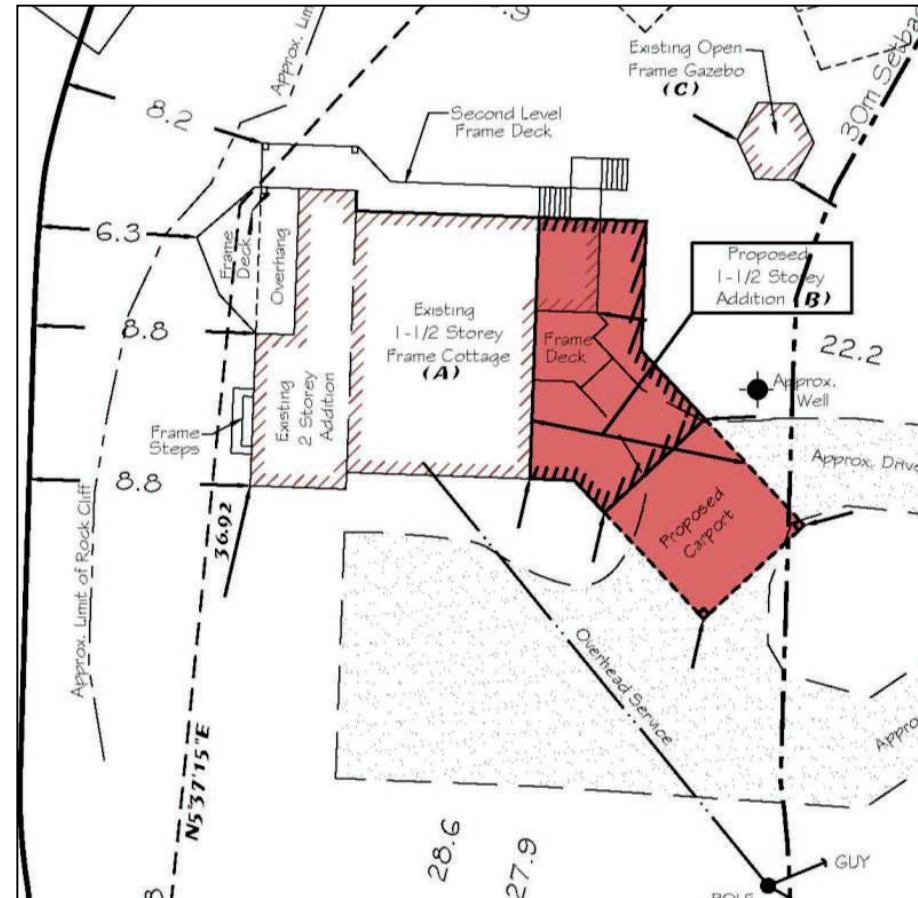
1 WEST ELEVATION
A03.1 SCALE: 3/16" = 1'-0"

NOTE:
SEASONAL RESIDENCE (COTTAGE) SHALL COMPLY
TO 9.36 AND 9.36.2.4 OF THE O.B.C. 2012.

Proposed

Improvements

- New tertiary septic system to be located outside of 30m water setback
- Runoff redirected away from lake
- Bring old cottage up to OBC standards
- Naturalize gravel area



Supporting Studies

- Environmental Site Evaluation
 - No impact from 2nd storey addition since constructed on existing footprint
 - No existing natural cover in area proposed for 1½ addition, although one young White Pine tree will be relocated
 - Net benefit due to new septic system
 - Rain gutters to drain toward rear of lot
- Slope Stability Study
 - No concerns
 - Drainage recommended away from lake

South Frontenac Official Plan

- Development in Rural area is to be consistent with maintaining its rural, natural heritage and cultural landscape.

- Environmental Protection Policies [5.2.7(b)] require that proposals for additions to structures within the 30m setback shall be evaluated on the following:
 1. GFA, Building Footprint and Lot Coverage
 2. Proximity of dwelling to high water mark
 3. Capacity of lot to accommodate new development farther from the water

Official Plan – 3 Criteria

#1: Is it too big? (Lot Coverage, GFA, Footprint)

- Zoning by-law permits 10% coverage (5% for primary, 5% for accessory)
- Proposed lot coverage for entire site is 4.5%
 - Primary structure: 2.7%
 - Accessory structures: 1.8%
- Lot occupancy (adding the floor space together) will increase from 2.5% to 4.0% for the main dwelling
- Overall footprint will only increase by 36 m² (388 sq ft)

LOT COVERAGE (Building Footprint / Lot Area)



Official Plan – 3 Criteria

#2: Proximity of dwelling to high water mark

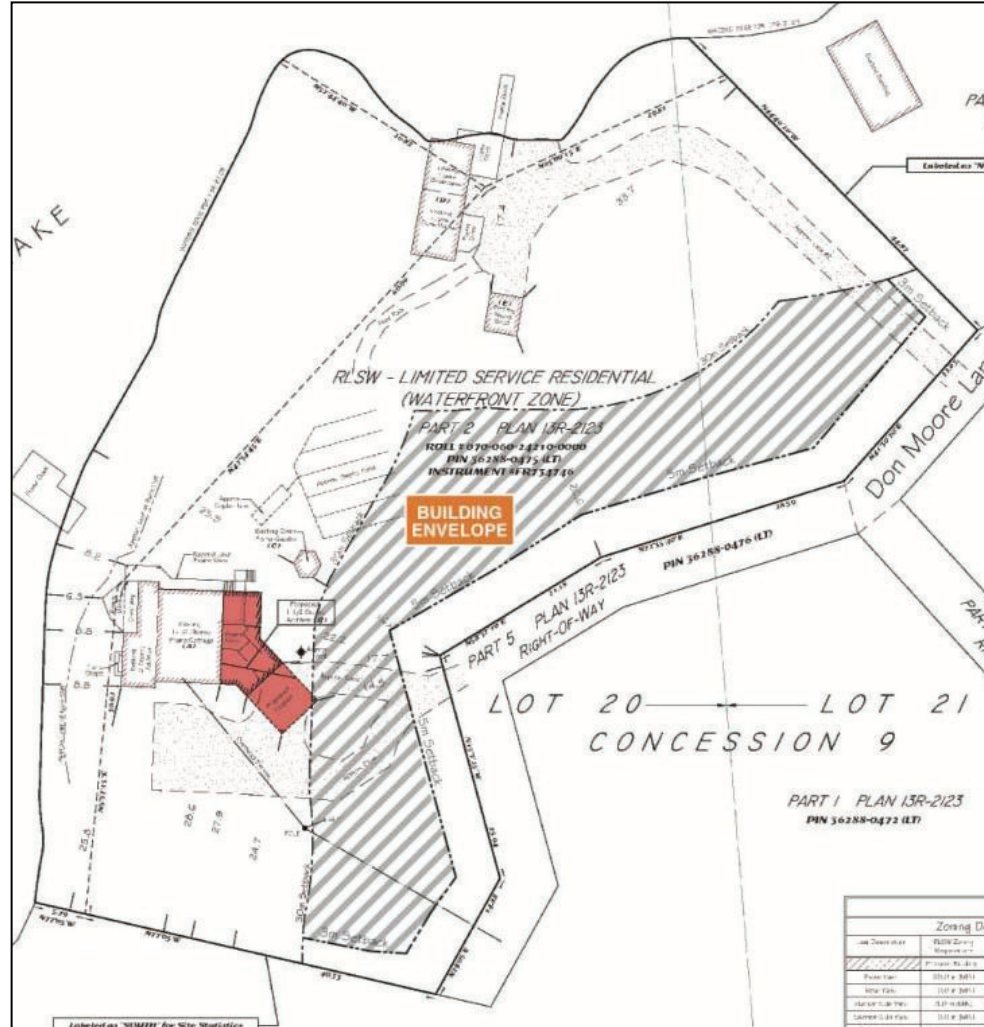
- Existing deck is 6.3m from high water mark
- Main dwelling is +/- 9m from high water mark
- Vertical drop from high water mark to water's edge provides further 6m of separation
- 2nd storey addition over existing footprint
- Rear, 1½ storey addition will extend away from water
- Site Plan Control as additional tool

Official Plan – 3 Criteria

#3: Capacity of lot to accommodate new development farther from the water

- Shape and layout provides limited building envelope
- Terrain further limits development
- Moving the building to the 30 m setback constitutes undue hardship
- Mitigate impacts by avoiding further encroachment, building addition as far from lake as possible, installing new septic system outside 30m setback

Official Plan - 3 Criteria



Zoning By-law Amendment

- According to MMAH, when considering a zoning by-law amendment, council is required to evaluate the application against the following criteria:
 - Conformity with the official plan and compatibility with adjacent uses of land
 - Suitability of the land for the proposed purpose
 - Adequacy of access, water supply, sewage disposal
 - Risk of flooding

Zoning By-law Amendment

RLSW-X

- (a) The minimum required setback from the highwater mark shall be 6.0 m for the deck and 8.5 m for the dwelling;
- (b) The minimum required setback from the top of bank shall be 1.0 m for the deck and 6.0 m for the dwelling.

Notwithstanding the provisions of section 5.10.2, the maximum permitted gross floor area (including decks) of the principal dwelling shall be 255 square metres.

Summary

- Existing cottage is within the 30m setback
- New additions do not further encroach on water setback
- Site alterations are proposed that provide a net benefit
 - New septic system and location outside of 30m setback
 - Redirect gutters to rear of property
 - Site Plan Control is recommended to re-naturalize a portion of the graveled parking area
- Meets the 3 criteria established in the South Frontenac OP
- No environmental concerns from an ecological or slope stability perspective
- Regardless of the construction that has already taken place, on its planning merits, this proposal represents good planning

**Staff Report
Public Meeting**

Township of South Frontenac

Planning Department

Prepared for Council

Agenda Date: July 5, 2016

Report Dated: June 30, 2016

File No. Z-16/09

**Subject: Public Meeting for Proposed Zoning By-law
Amendment in Part of Lot 20, Concession IX,
Storrington District, Township of South Frontenac:
Stricelj**

Summary of Recommendation:

The recommendation is to deny a zoning amendment application that would apply a special zoning to a property at Dog Lake to permit a two storey addition to an existing legal non-complying cottage. The addition is already illegally constructed and is located approximately 5.5 metres (18 feet) from the lake. The amendment would also permit an addition to the non-water side of the building. The zoning by-law presently requires new development to be located 30 metres (98.4 feet) from the lake.

Purpose of the Report:

The purpose of this report is to bring forward to Council an application, to amend the Township of South Frontenac Zoning By-law No. 2003-75 to apply to an existing waterfront property at Dog Lake. The Council meeting will also constitute a public meeting as required under the Planning Act wherein representation will be received from any concerned property-owner or agency. The report includes a number of attachments including a zoning by-law amendment for Council's reference.

Background

The owner of property at 1610 Don Moore Lane has applied to amend the Township's Comprehensive Zoning By-law to permit a proposed new addition to an existing cottage at Dog lake. The amendment also seeks to legalize a two storey addition to the building that has already been constructed illegally without any approvals from the Township. The effect would be a structure with a footprint of 1,829 square feet approximately 5.5 metres (18 ft.) from the lake. The whole structure would be within the normally required minimum 30 metre setback from the lake. **Attachment #1** shows the subject property.

According to the applicant, a tornado swept through the property in 2012. Approximately 100 trees fell as a result – some of which caused significant damage to the existing cottage on the lot. Subsequently, as part of the repair work, the owner constructed a two storey addition to the water side of the cottage – approximately 18 feet from the highwater mark of the lake. None of this construction had any permits or approvals from the Township and, thus, was carried out illegally.

When the Township became aware of the illegal construction Planning advised the owner by letter dated September 1, 2015, that he must bring the structure into conformity with the Township's regulations. Accordingly, the owner applied for a minor variance. However, the minor variance application erroneously did not address the illegal addition at the waterside of the cottage but, instead, sought relief to construct a whole new addition at the non-water side. Planning advised the owner of this situation but he wished to proceed with the application as submitted. His claim was that the waterside addition was built on the same

footprint as a covered deck that was already there and which was destroyed by tempest.

The application came to the Committee of Adjustment and was denied on the basis that it constituted too much development too close to the highwater mark of the lake when considering the area and location of the illegal portion of the building. The owner subsequently appealed the decision to the Ontario Municipal Board.

Now, the rezoning application seeks to address both the illegal construction and the proposed addition. An OMB hearing was scheduled for July 19, 2016 to hear the appeal on the minor variance, however, now that the rezoning application has been submitted the hearing has been adjourned. Ultimately, if the rezoning is approved, the hearing will not proceed. If the zoning is denied and the applicant appeals the decision, the Board would deal with both decisions at the same hearing.

Analysis

The subject land is 0.6 hectares (1.5 ac.) in size and is located at Dog Lake with approximately 140 metres (460 ft.) of waterfrontage. A steep cliff embankment exists on a portion of the waterfront near the location of the cottage and the land still retains much of its original tree cover. Other than the steep cliff portion at the water the land offers no real constraints to development.

In addition to the cottage near the water the land contains a gazebo, a woodshed, a boathouse with an attached bunkhouse at the water's edge and two docks. Development on the property is shown on **Attachment #2** hereto.

Official Plan

The land is designated Rural in the Township's Official Plan. This designation permits residential waterfront development and it provides that all development shall be well set back from any waterbody. The Plan further establishes a minimum setback of 30 metres as a basis to implementing this intent.

The Plan, however, does provide direction when dealing with existing legal non-complying structures that are already developed within the 30 metre setback and on which owners wish to construct additions. It provides that such additions may be permitted but will be evaluated based on:

- a) The ultimate total gross floor area, building footprint and lot coverage being proposed;
- b) The closeness of the existing dwelling to the highwater mark; and
- c) The capacity of the lot to accommodate new development at a greater setback from the highwater mark.

The Plan however specifies that, in no case shall an already encroaching structure be permitted to encroach further on the setback from the highwater mark.

Zoning By-law

The subject land is zoned Limited Service Residential Waterfront Zone (RLSW) in the Township's Comprehensive Zoning By-law. This zone permits residential development on lots with waterfrontage recognizing that the land is accessed by a private lane with no Township maintenance. The RLSW zone specifies the required setbacks for new development on such lots including a requirement that development be a minimum of 30 metres from the highwater mark of any waterbody.

The zoning by-law also requires that all construction be setback a minimum of 15 metres from the top-of-back of any slope greater than thirty percent.

Supporting Studies

In support of the development the applicant included an environmental study dated June 6, 2016, prepared by Ecological Services; a slope stability letter, dated May 26, 2016 prepared by Ainley Consulting Engineers Planners and a Planning Report, dated June 6, 2016 from FOTENN Consultants Inc. All reports are attached hereto as **Attachment #3**.

The environmental report notes that the owner has built near the water on the existing footprint adding a two storey structure. It concludes that this has no environmental impact. Also, with respect to the addition to the rear of the building, the report advises that this is the most logical location for an addition since it maximizes the setback and minimizes the potential for environmental impact.

The slope stability letter states that the entire frontage along the cottage property consists of solid, metasedimentary bedrock with an exposed, nearly vertical face above the water's surface. The nature of the bedrock ensures that risk of any slope stability failure that would impact the existing structure is nearly non-existent.

The planning report supports the application through an analysis of the above-noted four criteria in the Township's Official Plan. The four criteria are stated below with comments from the planning Department in bold type:

- a) In terms of the ultimate total gross floor area, building footprint and lot coverage being proposed, the report concludes that the proposed additions represent only a minor increase in floor area relative to the overall lot size and compared to the established scale of development.

The proposed addition to the non-waterside of the cottage virtually doubles the size of the footprint – all within the 30 metre setback from the lake. This cannot be considered a minor increase. The addition of a two storey structure near the water increasing the gross floor area also cannot be considered minor since there was never any gross floor area here in the first place. There appears to be confusion in the report over the terms 'footprint' and 'gross floor area'.

- b) With respect to the closeness of the existing dwelling to the highwater mark, the planning report concludes that the development does not result in further encroachment on the water setback and is appropriate from an environmental perspective.

There is nothing to show that the previously-existing roofed deck had the same footprint as the illegal addition. Certainly, if the owner had consulted with the Township following the destruction of the roofed deck, the size and footprint would have been confirmed and, under section 5.11 of the zoning by-law the structure that had existed, damaged by an act of God, could have been rebuilt as of right. However, there is no justification for an increase in living space on two storeys, 18 feet from the water's edge which is a completely different structure than what had existed.

- c) To address the provision in the Official Plan that the capacity of the lot to accommodate new development at a greater setback from the highwater mark must be evaluated, the planning report concludes that the lot is of a size and shape that does not allow for a building envelope outside of the 30 metre water setback.

This statement is clearly contradicted by the drawing on page 21 of the planning report which identifies an extensive building envelope. The lot does in fact have capacity to accommodate new development outside the 30 metre water setback.

- d) The planning report firmly states that evidence has been provided to prove that the lake side addition has been built within the footprint of the prior structure on the site and therefore absolutely no part of the proposal results in further encroachment.

As noted above, there is no confirmation that the previous structure had the same footprint as the illegal addition. The addition with its deck may very well encroach further towards the water.

Agency Comments

The Cataraqui region Conservation Authority had no objection the the proposal when it was circulated with the minor variance application and they were not circulated for comment on the present rezoning application. No comments have been received from the public in response to the circulation of the application.

Conclusion

In consideration of the above review, it is this Department's conclusion that the re-zoning to legalize the illegal construction and the proposal to add to the non-waterside of the cottage cannot be supported. The environmental report and the planning report both appear to base their support on the supposition that the waterside addition was constructed on the same footprint as the previously-existing deck.

There is nothing to support this supposition and there is also nothing to support the claim that the previous structure was destroyed by a tornado. If the owner voluntarily removed the structure in order to build the two storey living space addition then its legal non-complying status has been lost. If this is the case then the addition is very much closer to the water contrary to the claims of the environmental and planning reports that it is absolutely no closer.

The development would result in a structure with a footprint of 1,829 square feet located 18 feet from the water's edge constituting too much development too close to the water and contrary to the intent of the Official Plan.

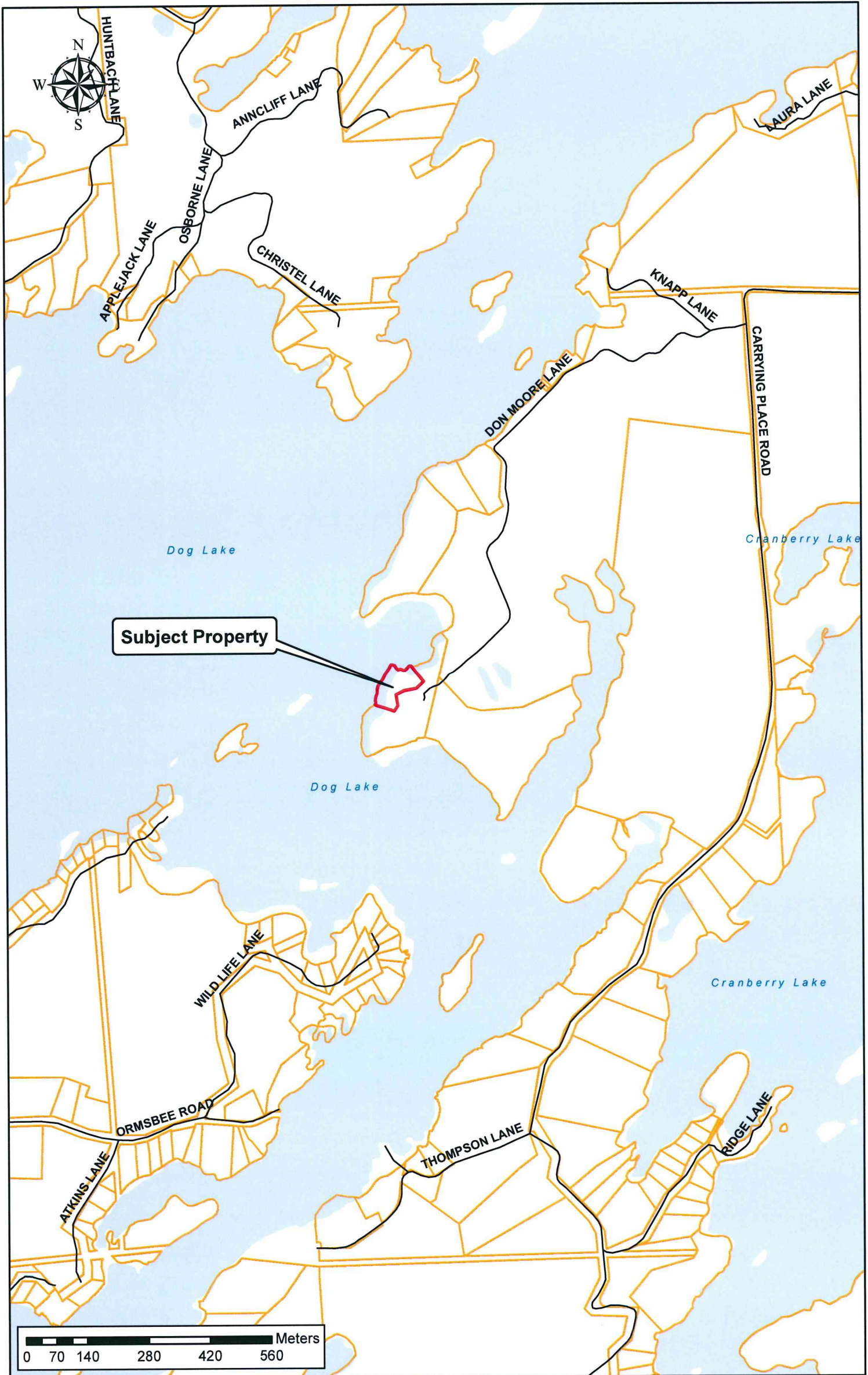
Recommendation:

It is recommended that the attached zoning by-law amendment, By-law No. 2016-42 to rezone the subject land in Part of Lot 20, Concession IX, Storrington District from RLSW to Special RLSW-114, **be denied**.

Submitted/approved by: Lindsay Mills

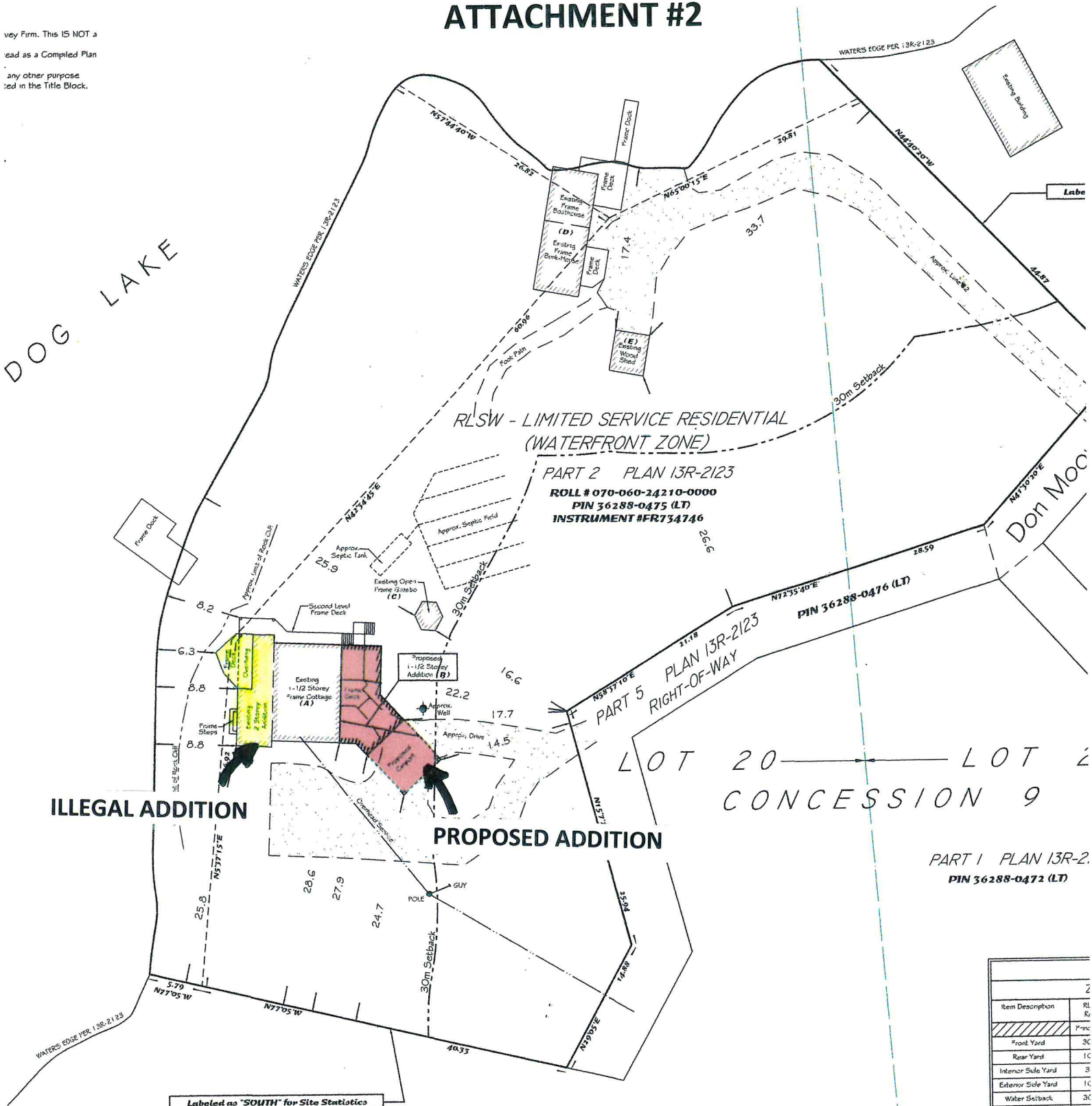
Prepared by: Lindsay Mills

Attachment #1



ATTACHMENT #2

vey Firm. This IS NOT a
 ead as a Compiled Plan
 any other purpose
 ed in the Title Block.



ILLEGAL ADDITION

PROPOSED ADDITION

RLSW - LIMITED SERVICE RESIDENTIAL
 (WATERFRONT ZONE)

PART 2 PLAN 13R-2123
 ROLL # 070-060-24210-0000
 PIN 36288-0475 (LT)
 INSTRUMENT #FR734746

PART 5 PLAN 13R-2123
 RIGHT-OF-WAY

LOT 20 ——— LOT 2
 CONCESSION 9

PART 1 PLAN 13R-2123
 PIN 36288-0472 (LT)


PART 1 PLAN 13R-2123
 PIN 36288-0472 (LT)

Labeled as "SOUTH" for Site Statistics

Item Description	RL	Ry	Prnc
Front Yard	30		
Rear Yard	10		
Interior Side Yard	3		
Exterior Side Yard	10		
Water Setback	30		
Building Height	11		
Rear Yard	3		
Interior Side Yard	3		
Exterior Side Yard	3		
Water Setback	30		
Building Height	6		
Lot			
Building Area			
Building Area			
Lot Area	10.00		
Lot Coverage			
Lot Coverage			
Frontage (Road)	71		
Water Frontage	71		



ATTACHMENT #3

	<p>Ecological Services R.R. #1, 3803 Sydenham Road Elginburg, Ontario K0H 1M0 Phone: (613) 376-6916 E-mail: mail@ecologicalservices.ca</p>
ENVIRONMENTAL SITE EVALUATION	
Municipality: Township of South Frontenac (geographic Twp. of Storrington)	
Lots: Part Lot 20	Concession: IX
Municipal Address: 1610 Don Moore Road	
Landowner: Don Stricelj	
Planning Application Reference: N.A.	
<p><u>Description of Application:</u></p> <p>The landowner, Don Stricelj, contracted to have work undertaken on his existing cottage at 1610 Don Moore Road. The contractor failed to obtain a building permit for the work, and the landowner subsequently made application for a minor variance, which was not granted. He anticipates making an application for a Zoning By-law amendment. The work undertaken was the reconstruction of an existing portion of the cottage, on the same footprint, but with the addition of a second storey. Ecological Services was contracted to undertake an ecological assessment of the work undertaken, and of a proposed rear 1½ storey addition (within 30 m of Dog Lake) and a proposed new septic system.</p>	
<p><u>Site Description:</u></p> <p>The subject lot is located at the end of Don Moore Road, on Dog Lake (see Attachments 1 and 2), approximately 3.9 km east of Battersea, Ontario. This is a cultural lot, located along the southern edge of the Frontenac Arch. The proposed work is shown in a site plan (Attachment 3).</p> <p>A. Ecological Land Classification The site is a cultural lot, which has been developed as a cottage lot, and shows evidence of its longterm residential use (see site photographs in Attachment 4). Here the vegetation is characterized primarily by mowed lawn and natural grasses, remnant native tree species, and ornamental plantings, interspersed with rock and rocky knobs or outcrops. There were a few remnant areas (primarily near the woodshed, and along the shoreline other than the dock and boathouse locations) that were more typical of the natural, native vegetation cover typical of the Frontenac Arch, but these were not the area of focus, so ELC mapping was not appropriate for this site.</p> <p>B. Slope The site is the cottage and proposed rear addition is fairly level, but the cottage is located on a high point of land and falls off abruptly to Dog Lake and more gently on other parts of the lot (demonstrating the ridge and valley topography typical of</p>	

the Frontenac Arch). The cottage is set back approximately 6.3 m (20 feet) from the lake, but is also separated from the lake by a vertical separation of approximately 6 m.

C. Water Quality

The Ministry of the Environment, Energy and Climate Change (MOEECC) manages a Lake Partners Program that analyzes water samples taken by citizen volunteers. Data on Dog Lake are available. Station 1217 Site ID2 is the closest sampling station to the subject property, but the data are over ten years old. That information (from 2002 to 2004) indicated Total Phosphorus (TP) levels between 22.95 µg/L and 36.43 µg/L, with a modest downward trend in TP. Data from nearby Station 1217 ID1 (also in the north basin of Dog Lake) are more complete. Samples between 2002 and 2014 (the latest year available) range from 19.0 to 30.25 µg/L, with a modest downward trend in TP levels. MOEECC states that lakes with TP concentrations over 20 µg/L are eutrophic, and the Canadian guidelines (CCME 2004) refine those levels further, categorizing waterbodies with 20 to 35 µg/L TP to be meso-eutrophic. The available data suggest that Dog Lake is meso-eutrophic, or mildly nutrient rich.

Is the Proposed Development:	
A. In a Provincially Significant Wetland or Coastal Wetland?	Yes <input type="checkbox"/> <input checked="" type="checkbox"/> No
Adjacent to a Provincially Significant Wetland or Coastal Wetland?	Yes <input type="checkbox"/> <input checked="" type="checkbox"/> No
B. In a Regionally Significant Wetland?	Yes <input type="checkbox"/> <input checked="" type="checkbox"/> No
Adjacent to a Regionally Significant Wetland?	Yes <input type="checkbox"/> <input checked="" type="checkbox"/> No
C. In/adjacent to an Unevaluated Wetland?	Yes <input type="checkbox"/> <input checked="" type="checkbox"/> No
D. In an Area of Natural and Scientific Interest?	Yes <input type="checkbox"/> <input checked="" type="checkbox"/> No
Adjacent to an Area of Natural and Scientific Interest?	Yes <input type="checkbox"/> <input checked="" type="checkbox"/> No
The closest provincially significant ANSI is the Loughborough Lake Swamp, located approximately 7.3 km to the WNW.	
E. In the habitat of Species at Risk?	Yes <input type="checkbox"/> <input checked="" type="checkbox"/> No
<p>A search of the Natural Heritage Information Center (NHIC's) database found several element occurrences reported for the 1-km² square within which the subject property is located. This does not mean that the observations were made on the subject property, but rather that these species have been seen in the area, and may be present. The records are all old in this case (thirty years and over), and we note that no Threatened or Endangered species were listed.</p> <p>One restricted species was noted, but the report dates back to 1933, and is a species considered to be extirpated. Given the age of the report and the fact that the cottage property has been developed for many years, it is our opinion that this species is not present on the subject property. It is our opinion that the redevelopment and addition of a second storey to the cottage, and the proposed addition of a 1½ storey addition to the rear of the cottage will have no impact on this species at risk.</p>	

<p>Adjacent to habitat of Species at Risk?</p> <p>It is probable that Threatened or Endangered species may be present in the area, in particular associated with Dog Lake. This may include Blanding's Turtles and Gray Ratsnakes (both of which have been reported in this square of the Ontario Reptile and Amphibian Atlas - Ontario Nature 2015). Both these and other species may occasionally use the subject lot.</p> <p>The May 23 site visit was undertaken specifically to check for any evidence of Gray Ratsnake hibernacula. The Ministry of Natural Resources and Forestry provides guidance in surveying for these animals (Pitt, personal communication), and this work was done accordingly. We found no evidence of Gray Ratsnake concentrations, nor any individual animals on site. While Gray Ratsnakes may occasionally pass through the site, it is our opinion that the completed and proposed work will have no impact on these animals.</p> <p>We considered the potential for impact on Blanding's Turtles. These turtles leave the water to finding nesting areas, and the rock would not provide suitable habitat. Blanding's nests are typically created in open habitats with low vegetation cover and high sun exposure such as in forest clearings, meadows, shorelines, beaches, rocky outcrops, cornfields, gravel roads, road shoulders, ploughed fields, gardens, power line rights-of-ways, yards and abandoned railroad beds. A Blanding's Turtle could conceivably use the compacted gravel area at the rear of the cottage for nesting purposes, but its location by the door of an existing cottage makes it unlikely, particularly considering the available extent of alternative and more appropriate nesting sites (e.g., on the north side of the lot). It is also noted that Blanding's Turtles are known to demonstrate fidelity to a chosen nesting area, and they have not previously been observed to nest in this location. Given the observed site conditions and known information, it is our opinion that this work will have no impact on Blanding's Turtles.</p> <p>We note that the redevelopment and addition were restricted to the previously developed footprint, and that there was no disturbance of natural habitat. The installation of a new septic system and an upgrade to a tertiary system will be set back 30 m from Dog Lake, and the resultant reduction to nutrient outputs should result in a modest improvement to lake water quality. The addition of a 1½ storey addition to the rear of the cottage will affect an area that is currently characterized by sparse grass, rock, and a compacted and gravel-treated surface; The distance to Dog Lake is less than 30 m, but it is maximized by building to the rear of the existing cottage, and no natural vegetation cover or habitat will be affected. It is our opinion that the completed and proposed work will have no negative impact on</p>	<p>Yes <input checked="" type="checkbox"/> No <input type="checkbox"/></p>
--	--

the habitat for species at risk.	
F. In significant wildlife habitat?	Yes <input type="checkbox"/> <input checked="" type="checkbox"/> No
<p>Adjacent to significant wildlife habitat?</p> <p>The search of the NHIC database found several element occurrences reported for the 1-km² square within which the subject property is located. Species that are of conservation concern, but not ranked as Threatened or Endangered, are assessed when considering significant wildlife habitat. The reported species are discussed below:</p> <p>Northern Map Turtle (<i>Graptemys geographica</i>): a highly aquatic turtle, it is rare to uncommon in Ontario (S3), and considered to be a species of Special Concern (SC) by the Committee on the Status of Endangered Wildlife in Canada (COSEWIC) and the Committee on the Status of Species at Risk in Ontario (COSSARO). Although the report is old (1936) it is likely that Map Turtles are still present, and they would be associated with Dog Lake, with potential to emerge onto adjacent uplands during nesting season. Given that the redevelopment and addition were on the footprint of an existing structure, that the area of that addition is bald, unbroken rock, that the area of the proposed rear addition is sparse grass and compacted gravel driveway, and that there is a significant elevation difference between the elevation of the cottage and that of Dog Lake, it is our opinion that this work will have no impact on Map Turtles.</p> <p>Broad Beech Fern (<i>Phegopteris hexagonoptera</i>); a fern that prefers to grow in rich soils in deciduous forest such as Maple-Beech forests. In Ontario, the species is found in forest remnants in southern Muskoka District, along Lake Erie, and in the St. Lawrence river region. Ontario is the northern limit for this species, and it was probably never common here. Historical records suggest that it was once more widespread in the province, and may have declined as forests were cleared; this sighting dates back to 1960. This species is considered to be rare to uncommon in Ontario (S3), and is considered to be an SC species by COSEWIC and COSSARO. The subject property does not appear to provide appropriate habitat for this species, and it is our opinion that the completed and proposed work will have no impact on its population.</p> <p>Rams-head Lady's Slipper (<i>Cypripedium arietinum</i>). Most Ontario populations of this species are along the sandy shores of Lake Huron. This tiny plant grows in lightly shaded areas with calcareous soils, and is characteristic of the alvars around the Great Lakes in North America. It is considered to be uncommon in Ontario (S3), but has not been assigned a rank by COSEWIC or CASSARO. As this sighting was pre-1986, and we found no suitable habitat, we consider it unlikely that this species is present on the subject property.</p>	Yes <input checked="" type="checkbox"/> <input type="checkbox"/> No
G. Within 120 m of a waterbody?	Yes <input checked="" type="checkbox"/> <input type="checkbox"/> No
The lot has frontage on Dog Lake, although it is noted that the cottage	

is located on a high rock area, and is approximately 6 m higher than the lake level.	
H. In fish habitat?	Yes <input type="checkbox"/> <input checked="" type="checkbox"/> No
<p>Adjacent to fish habitat?</p> <p>Dog Lake supports many fish species, including Smallmouth and Largemouth Bass and Northern Pike. Lake Trout were once found in the lake, but were eliminated by over-fishing; today the lake is stocked with hybrid Splake, which are mainly found in the northern, deeper end of the lake. The proposed new, tertiary septic system will reduce nutrient outputs from the subject property, and will contribute to a modest improvement to Dog Lake's water quality. This should result in a net benefit to fish and fish habitat in Dog Lake.</p>	Yes <input checked="" type="checkbox"/> <input type="checkbox"/> No
I. Adjacent to Highly or Moderately Sensitive Lake Trout Lake?	Yes <input type="checkbox"/> <input checked="" type="checkbox"/> No
<p>J. In a significant woodland?</p> <p>Tree cover is present on the subject lot, but it serves an ornamental purpose, as the lot has been developed for seasonal residential purposes. (See site photographs in Attachment 4.)</p>	Yes <input type="checkbox"/> <input checked="" type="checkbox"/> No
<p>Adjacent to a significant woodland?</p> <p>The subject lands are located on a peninsula of land on the west side of Dog Lake's west basin. The peninsula has been largely cleared of natural vegetation for agricultural purposes, although there is remnant tree cover in the cottage area at the tip of the peninsula. The remnant woodland is not significant for the purposes of the PPS.</p>	Yes <input type="checkbox"/> <input checked="" type="checkbox"/> No
<p>K. In a significant valleyland?</p> <p>Adjacent to a significant valleyland?</p>	Yes <input type="checkbox"/> <input checked="" type="checkbox"/> No

Assessment of Net Benefit:

The landowner has rebuilt an existing front porch area and added a second storey, on the exact footprint of the original structure. We considered several points:

- the cottage is set back only 6.3 m (20 ft), but it is also located on a high point of land and is approximately 6 m (19.7 ft) above the water level as well.
- the location of the addition is bare, solid rock, and construction resulted in no impact to natural vegetation or other species.
- the only potential impact is a potential for a greater number of people to use the cottage at one time.
- the landowner proposes to install a new septic system, which should effectively manage human waste.

The landowner proposes to construct a 1½ storey addition to the rear of the cottage (see Attachment 3). We considered:

- there is no existing natural cover in the area that would be affected by the addition, although one young White Pine tree will have to be removed or transplanted. The area is characterized by sparse lawn, rock, and compacted gravel associated with the existing entranceway.
- a portion of the addition area already supports a covered frame deck area.
- The addition would be within 30 m of Dog Lake, but will also have further separation

created by the elevation difference between the lake and the site of the addition (approximately 6 m).
 The landowner also proposes to replace the existing septic system with a new tertiary septic system. The existing tank will remain, but a new tertiary bed will be located in the area of the existing fire-pit (see Attachment 4). We considered:

- tertiary septic systems are known to dramatically reduce the strength of waste output, that is by an order of magnitude (e.g., from a waste count of 120-150mg/l BOD5 to a count of 15 mg/l).
- the new tile bed will be located 30 m from the high water level of Dog Lake.

As the landowner has built on the existing footprint where a second storey was added, and given the nature of the site, it is our opinion that there has been no impact to the natural heritage features or their ecological functions of the lot. As the landowner has proposed to locate the 1½ storey addition to the rear of the lot, maximizing its setback from Dog Lake, and to be located in a cultural area, it is our opinion that this is the most appropriate location for an addition, in order to minimize the potential for ecological impact. It would be appropriate to ensure that stormwater runoff from the roof be directed to the rear of the lot to maximize the path of flow into Dog Lake. With respect to the proposed installation of a tertiary septic system, it is our opinion that this will result in a modest net benefit to Dog Lake through the reduction of nutrient input into the lake. As the lake is meso-eutrophic, this is to be encouraged.

In our opinion, is a more detailed Environmental Impact Statement (EIS) required to demonstrate the appropriateness of the proposed development? Yes No

If yes, which natural feature(s) should the assessment focus on?

Recommendations for Mitigation:

- It is recommended that the rain gutters on the cottage be set to drain runoff toward the rear of the lot, which will increase its flow path to Dog Lake.
- The landowner reports the loss of many trees as a result of a weather event in the summer of 2012, and indicates an interest in some replanting. It is recommended that native tree and/or shrub species be considered, being the most well adapted for the area and therefore the most likely to survive. It is also recommended that invasive non-natives such as Norway Maple be avoided.


Contacts, References & Literature Cited:

Charette, Monique. Personal communication. Biologist, Ministry of Natural Resources and Forestry, Kingston Office. 613-531-5715.

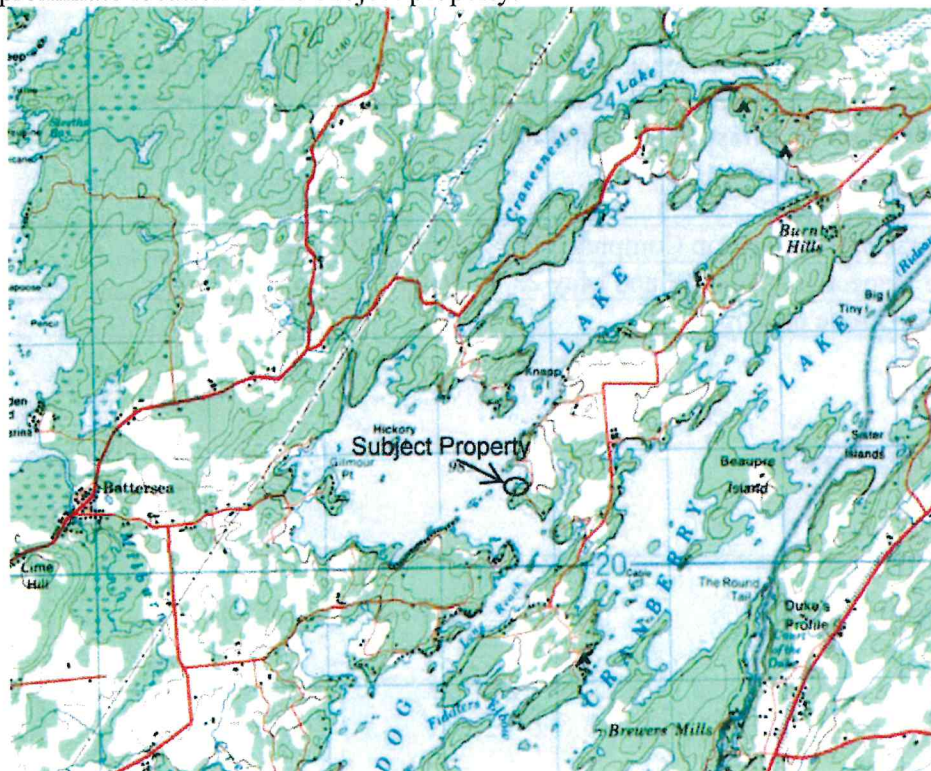
Ontario. 2006. Inland Ontario Lakes Designated for Lake Trout Management. 53 pp.

Ontario Nature. 2015. Ontario Reptile and Amphibian Atlas. Available online at: <<http://www.ontarionature.org/dynamic-maps/dynamic-maps/>>

Pitt, Kate. Personal communication. Species at Risk Biologist, Ministry of Natural Resources and Forestry, Peterborough District. Email dated 2015.10.21.

<p>Provincial Policy Statement. 2014. Issued under Section 3 of the <i>Planning Act</i>. Province of Ontario. 50 pp.</p> <p>White, David J. 1993. Life Science Areas of Natural and Scientific Interest in Site District 6-10: A Review and Assessment of Significant Natural Areas. Prepared for the Ontario Ministry of Natural Resources, Kemptville and Tweed Districts. 122 pp., plus map.</p>
<p>Environmental Site Evaluation Completed By: Mary Alice Snetsinger</p>
<p>Date of Site Inspections: May 13 and May 23, 2016</p>
<p>Date of Report: June 6, 2016</p>
<p>Signature:</p> 

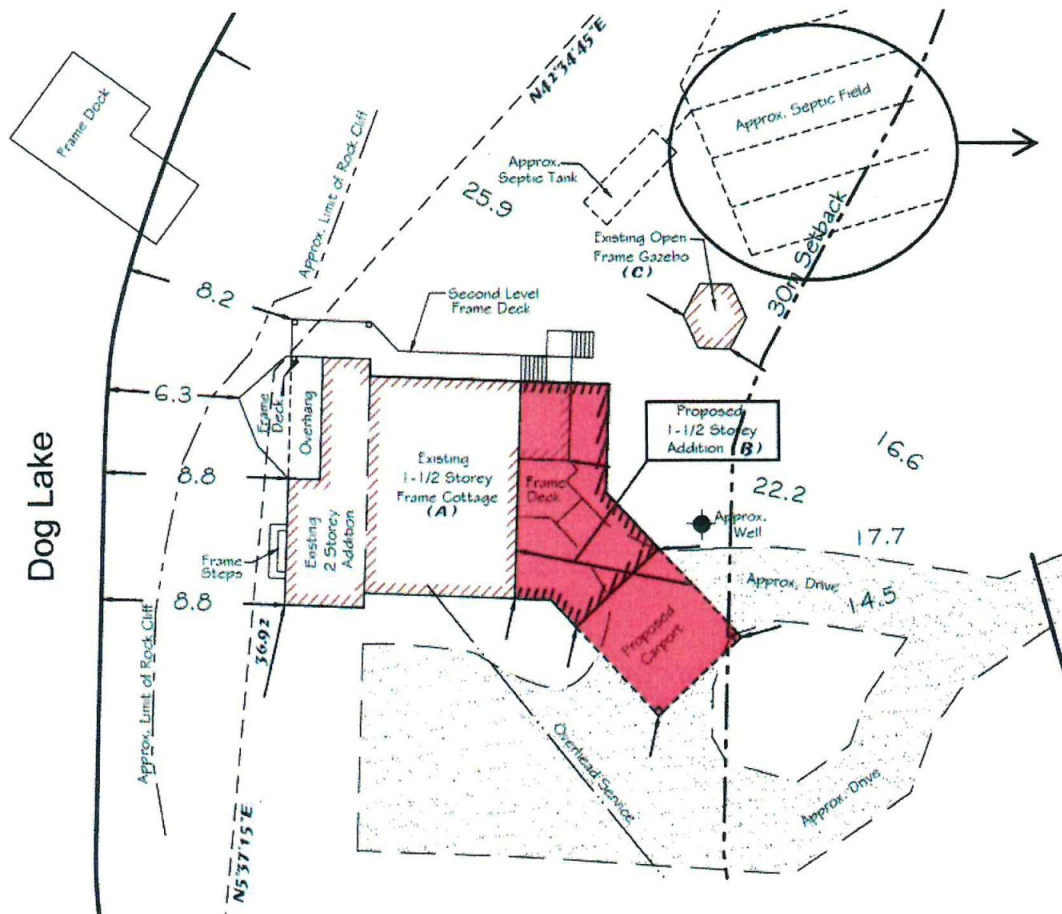
Attachment 1. Annotated detail from topographic map Gananoque 31 C/8, showing the approximate location of the subject property.



Attachment 2. 2014 satellite imagery, with the approximate location of the lot indicated, along with site features discussed in the report. Approximate area of proposed tertiary sewage bed in circled in yellow, and the approximate limits of a 30 m setback shown. Annotated base image from <frontenacmaps.ca>



Attachment 3. Site plan showing the location of the existing and proposed works. Annotated detail from a plan prepared by Annabel Designs, Revision 4, and dated October 2015. Amendment to the plan is shown by the indication that the septic field will be located beyond the 30 m setback.



Attachment 4. Site photographs, taken by the report author on the dates specified.



Photo 1. View to the west (Dog Lake in the distance). The lighter wood of the rebuild/addition can be seen to be sitting on bare rock. Note the sparse ground vegetation. 2016.05.23.



Photo 2. View to the SSW along the front of the new section of cottage. Note the bare, solid rock, with more natural vegetation maintained along the shoreline slopes in the distance. 2016.05.23.



Photo 3. View down toward Dog Lake from the top of the stairs. Note the significant elevation difference between the cottage and lake levels. 2016.05.23.



Photo 4. View to the northeast toward the bonfire area. The new septic bed will be located in this area. Note the lack of native vegetation cover here, but with some native tree cover associated with the rock areas in the background. 2016.05.23.



Photo 5. View to the southwest from the fire pit back toward the cottage. Again, the site is characterized by mowed lawn and a few scattered trees. 2016.05.23.



Photo 6. View of the existing septic tank area. 2016.05.13.



Photo 7. View to the NNW at the end of the cottage where the proposed addition will go, encompassing the tarp-wrapped Frame Deck, and continuing in line with the existing structure, and including a carport over the gravel drive. Note the sparse lawn and gravel-treated substrate, and the young White Pine that will be removed or relocated. 2016.05.13.



Photo 8. View to the west of the existing cottage. The proposed addition would come toward the viewer and the existing gazebo. Note the open, cultural nature of the area. 2016.05.23.



Photo 9. View to the east along the side of the cottage toward the area of the proposed addition. Note the open, cultural nature of the area, over native bedrock. 2016.05.13.

May 26, 2016

File No. 16826-1

1040 Sutton Drive, Unit 2
Burlington, ON L7L 6B8
Email: don@ryanmedical.com

VIA EMAIL ONLY

Attn: **Don Stricelj**
Property Owner

Ref: **Limited Slope Stability - Letter Report**
1610 Don Moore Lane, South Frontenac

Dear Sir:

Further to our recent visit to the site (May 13, 2016), we have outlined below our findings related to the limited slope stability analysis for the above noted property.

BACKGROUND

It is understood that an open porch on the water side (west side) of the original cottage was removed and a two storey addition was constructed within the same footprint directly on the existing bedrock outcrop overlooking the lake. We understand construction occurred within the last year or so. A ground level wood deck has also been constructed along the frontage of the addition. It is understood that the municipality has requested that a slope stability review be completed to assess the integrity of the existing bedrock outcrop.

SITE DESCRIPTION AND OBSERVATIONS

The property is located at 1610 Don Moore Lane on Dog Lake in the Township of South Frontenac. The property is legally described as Part 2, Lots 20 & 21, Concession 9, Township of South Frontenac and encompasses an area of 0.623 hectares. The existing cottage is located in the southern portion of the property on top of an approximately 6 metre high, near vertical, bedrock face overlooking the lake to the west. See **Enclosure No. 1** – Site Plan attached.

The immediate area surrounding the east portion of the cottage is relatively flat with a slight slope from west to east (sloping away from the lake). In the area of the addition on the west side of the cottage, exposed bedrock is prominent with a slight slope from north to south. The exposed bedrock can be classified as carbonate metasedimentary rock (marble) with no visible evidence of vertical cracking. (Reference – Bedrock Geology of Ontario, Southern Sheet, Ontario Geological Survey, Map 2544)

The cottage addition consists of a two storey, wood framed structure with wood siding. The building is founded on cylindrical concrete piers bearing directly on bedrock (similar arrangement to Drawing A04.1, prepared by Perspective Views, June 24, 2015) pinned with 15M bars to a minimum depth into bedrock of 250 mm. Based on our measurements, the building envelope is setback from the bedrock edge (at the lake) a distance of approximately 6 metres. See **Enclosure No. 2** attached for typical photographs taken May 13, 2016.

BEDROCK STABILITY

The entire shoreline frontage along the cottage property consists of solid, metasedimentary bedrock with an exposed, near vertical face above the water surface. The nature of the bedrock (no bedding, little to no fracturing) ensures that risk of any slope stability failure of the bedrock that will impact the existing structure is nearly 'non-existent'.

Given the existing set back to the structure (6 m), we are of the opinion that no further construction constraints with respect to slope stability are necessary. We recommend however, that any roof drainage from the structure and hard surfaces (driveway, paving stone etc.) be dispersed toward the south and east side of the building as much as possible to prevent concentrated flow of water and to allow for disbursement within the existing shallow overburden soils.

It is further recommended that the existing vegetation and trees covering the embankments remain undisturbed as much as possible in order to maintain existing site conditions.

We trust the attached information meets your needs and please do not hesitate to contact our office should you have any questions or concerns.

Yours very truly
AINLEY GRAHAM & ASSOCIATES LIMITED



Bill McLatchie, P. Eng.
Senior Project Manager

cc. Mike Keene, Fotenn



New Addition – looking north



New Addition – looking north

File No. 16826-1



Top of Bedrock looking down to lake



Bedrock shoreline, looking south from dock

File No. 16826-1



Typical footing – new addition

1610 Don Moore Lane

Waterfront Residential Expansion

Planning Report

June 6, 2016

Submitted to:

Township of South Frontenac

In support of application for:

Zoning By-law Amendment

Prepared for:

Don Stricelj
2425 Shadow Court
Oakville, ON
905-483-0824

Prepared by:

FOTENN

The Woolen Mill
6 Cataraqui Street, Suite 108
Kingston, ON K7K 1Z7
613.542.5454
www.fotenn.com

1. Introduction

In 2012, a significant storm event occurred which resulted in extensive damage to the subject property. Approximately 100 trees were lost, several of which fell onto and caused considerable damage to the existing cottage. As a result, the owner consulted a designer to design the required repair work as well as some additional improvements, including a second storey addition. Many of the trees that were lost in the storm were processed into lumber and utilized in the design. A contractor was then retained to obtain all necessary permits and complete the work.

While the contractor did complete some of the proposed work on the lake side, he did not obtain the necessary permits or planning approvals. Planning staff informed the applicant that the improved structure did not comply with the zoning by-law and that a minor variance would be required to seek relief. In accordance with staff direction, the owner submitted a minor variance application in October 2015. Staff did not support the application and it was denied by Committee of Adjustment in February 2016.

This Planning Report, prepared by FOTENN Consultants Inc. on behalf of the owner, Mr. Don Stricelj, is provided in support of an application for Zoning By-Law Amendment to recognize the second storey addition and to permit a new addition and carport on the east side of the cottage.

The County of Frontenac Official Plan, approved February 2, 2016, the Township of South Frontenac Official Plan, dated March 2003, and the Township's Comprehensive Zoning By-law #2003-75, dated May 2003, provide policy direction and regulate the development of the lands. The purpose of this report is to demonstrate the manner in which the proposed development meets the goals and objectives of the Official Plans and represents good land use planning. This report will summarize the existing conditions of the property and surrounding land use context, outline the nature of the proposed development, summarize supporting studies and reports, review the development in relation to provincial and municipal land use planning policies and regulations, and propose required amendments to the Zoning By-law.

2. Overview of Applications

A Zoning By-law Amendment would rezone the lands from RLSW to RLSW-X in order to recognize a previously constructed second storey addition and to permit the development of a new addition and carport. The following reliefs are required:

- Reduce the minimum required front yard setback / setback from highwater mark from 30 m to 6.3 m
- Decrease the minimum required setback from top of bank from 15 m to 1 m (only for the deck)





Figure 6 - Subject Site



Figure 7 - Subject Site

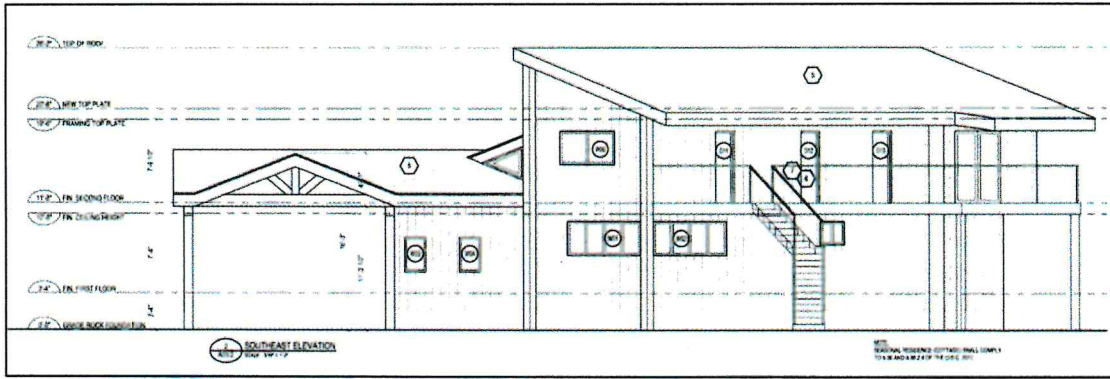
In the spring of 2015, the owner added a second storey to a portion of the cottage facing the water. While the pylon foundation was replaced to reflect modern day building practices, the original footprint was maintained to ensure the improvements did not result in further encroachment on the 30 metre water setback. The design of the addition utilizes natural building materials so that the structure blends with the natural landscape as well as the rest of the original cottage.



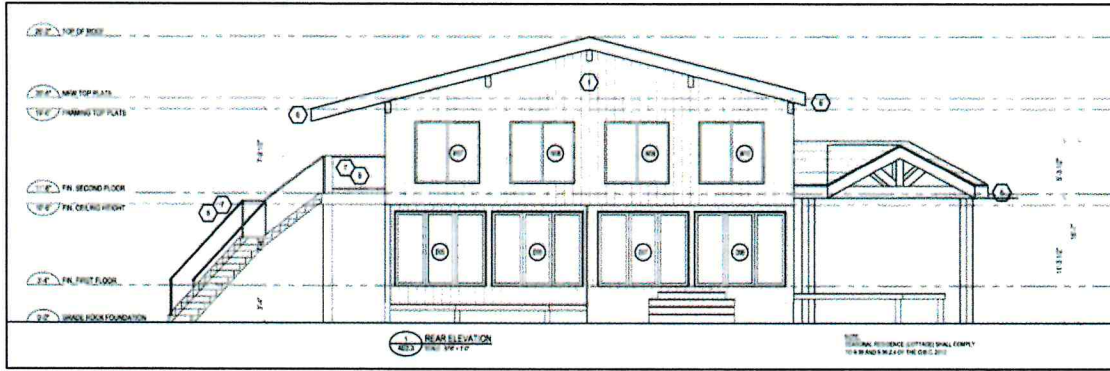
FIGURE 1: PHOTOGRAPH OF THE COTTAGE



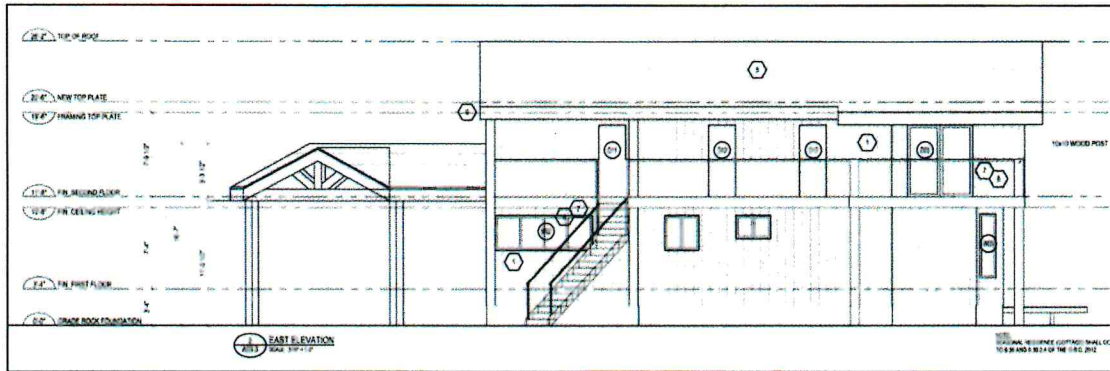
FIGURE 2: PHOTOGRAPH OF THE COTTAGE



101 - 1610 DON MOORE LANE



101 - 1610 DON MOORE LANE



101 - 1610 DON MOORE LANE

The existing septic system will be replaced with a new technologically advanced tertiary septic system. The new tanks will remain close to the house as is standard, but a new tertiary bed will be located in the area of the existing fire-pit and outside of the 30 metre water setback.

interest related to land use planning. Decisions affecting planning matters “must be consistent with” the policy statements issued under the authority of the *Planning Act*.

The proposal is consistent with the PPS with respect to the following:

Section 1.1.5.2 – On rural lands located in municipalities, permitted uses are:

- o *The management or use of resources;*
- o *Resource-based recreational uses (including recreational dwellings);*
- o *Limited residential development;*
- o *Home occupations and home industries;*
- o *Cemeteries; and*
- o *Other rural land uses.*

The proposed development represents both a resource-based recreational use and is representative of the type of limited residential development experienced broadly in areas blessed with an abundance of lakes.

Section 1.1.5.4 – Development that is compatible with the rural landscape and can be sustained by rural service levels should be promoted.

The proposed development will maintain the rural, picturesque qualities of the landscape by largely building up rather than out. The property also contains a large water frontage and retains much of its natural features in the form of exposed bedrock and naturally covered areas. The dwelling will continue to be serviced by a private septic system and well.

Section 1.1.5.5 – Development shall be appropriate to the infrastructure which is planned or available, and avoid the need for the unjustified and/or uneconomical expansion of this infrastructure.

The subject property is currently serviced by a private well and septic system and is accessed by an existing private road.

Section 2.1.6 – Development and site alteration shall not be permitted in fish habitat except in accordance with provincial and federal requirements.

The proposed development is not located within fish habitat.

Section 2.1.7 – Development and site alteration shall not be permitted in habitat of endangered species and threatened species, except in accordance with provincial and federal requirements.

According to the Environmental Site Evaluation, the proposed development is not located in habitat of Species at Risk. It is probable that Threatened or Endangered species may be present in the area, in particular associated with Dog Lake. This may include Blanding’s Turtles and Gray Ratsnakes. Both these and other species may occasionally use the subject lot. Ecological Services notes that the redevelopment and addition were restricted to the previously developed footprint, and that there was no disturbance of natural habitat. The installation of a new septic system and an upgrade to a tertiary system will result in minor reductions to nutrient outputs and should result in a modest improvement to lake water quality. The addition of a 1 ½ storey addition to the rear of the cottage will affect an area that is currently characterized by sparse grass, rock, and a compacted and gravel-treated surface.

The proposal represents a sustainable form of growth. The west (waterside) addition maintains the original building footprint and expands only upward, thus avoiding further encroachment towards the lake. The proposed east addition is at the rear of the cottage and away from the lake.

(5) To ensure that the built form along a shoreline is not overly concentrated or dominating to the detriment of the natural form;

The west addition involved replacing the existing enclosed seasonal structure and adding a second storey. Utilizing the existing footprint ensured that the building is not brought any closer to the water, thus minimizing impacts on the shoreline. Natural building materials have been used to blend the structure with the natural landscape.

(6) To maintain, enhance and/or restore the majority of the developed and undeveloped shorelines in their natural state by promoting property stewardship;

The subject site will be maintained in its naturalized state and there may be some opportunity to re-naturalize a portion of the gravelled area near the house.

(7) To preserve and enhance fish and wildlife habitat areas and other natural heritage features that are within and along Waterfront Areas.

An Environmental Site Evaluation was prepared which determined the proposed development is not located in significant wildlife habitat.

3.3.3.4.4 Policies

(1) The character of Waterfront Areas is linked to the natural and built form that is associated with the lakes and rivers in the County. Generally the natural form includes vegetated shorelines with thin soils over bedrock. The built form is predominated by residential development including resorts and marinas. In this context, new development or redevelopment occurring in the Waterfront Areas should, where possible enhance and protect those qualities that contribute to the area's character;

The proposed development consists of a modest expansion of an existing seasonal dwelling on a large lot. The west (waterside) addition already constructed adding a second storey to an existing enclosed structure and is restricted to the existing building footprint. The east addition will expand the building logically and away from the water. The proposed additions will enhance the character of the area by repairing and renewing an older seasonal structure.

(6) Tree cover and vegetation is encouraged to be retained along the shoreline to maintain the visual and environmental integrity of Waterfront Areas. Where development is proposed along shorelines, Township Official Plans should contain policies relating to the preservation of a natural undisturbed buffer between the water's edge and new development;

As seen in Figure 2, the site remains mostly in a natural state. Since already constructed addition did not require any shoreline vegetation to be removed as it is located on bare bedrock. Similarly, there is no existing natural cover in the area that would be affected by the east (rear) addition, although one young White Pine tree will have to be removed or relocated.

(7) To maintain the shoreline character and water quality, Township Official Plans and Zoning By-laws shall require that:

a. For new lot creation, buildings and structures, including the septic system tile field, must be set back at least 30 metres (100 feet) from the ordinary high water marks of all waterbodies with non-disturbance of the native soils and very limited shoreline removal.

This is a long established situation and the dwelling benefits from legal non-complying status and as such this policy does not directly apply to the site. However the intent of the policy is

Section 2 – Vision

Section 2.2 Interpretation of Vision Statement ... “rural character” ...Other factors which define the community as being rural include: large, uncrowded residential lots; private water and septic systems; mixture of woodlands, bush, agricultural fields and open landscapes...

The subject site is primarily in a natural state featuring dense vegetation and dramatic rock outcrops. The west (waterside) addition adds a second storey to an existing structure and therefore will not interfere with the natural features of the site. The east (rear) addition is located in an already cleared area and will be barely visible from the water. The use of wood siding and other natural building materials will assist in blending the structure in with the natural landscape. The proposed additions maintain the character of the area.

Section 4 – Goals and Objectives

Section 4.1 Natural Heritage Goal

The natural beauty of South Frontenac Township’s lakes, forests and rural landscape is its predominant asset. It is the Natural Heritage Goal of this Official Plan to preserve and enhance South Frontenac Township’s environmental quality for the enjoyment of future generations, while realizing its economic potential. To accomplish this, development decisions will be made from a long term cumulative impact point of view which protects the natural heritage systems with within the Township.

a) Objectives

- i. To promote sustainable development that meets the needs of the present without compromising the ability of future generations to meet their own needs.*

An Environmental Site Evaluation has been prepared which indicates that both the second storey addition and proposed east addition and carport will not negatively impact the natural environment. A new tertiary septic system will be installed which will result in a modest net benefit to Dog Lake through the reduction of nutrient input into the lake.

- ii. To approach planning decisions on an ecosystem basis, an approach that recognizes the interconnection of all living organisms, including humans, to their environment and to each other.*

As noted above, the ESA indicates there will be no impact on the natural heritage features or the ecological functions of the site.

- iii. To consider the cumulative impacts of planning decisions, recognizing that development proposals cannot be addressed only on an individual basis in isolation from past and future decisions.*

The subject lot was created under a prior policy and regulatory framework. Therefore, it is of a size and shape that does not allow for a building envelope outside of the 30 metre water setback. In this context, it is reasonable to expect that any building alterations/additions will also occur within the 30 metre setback. With respect to the current application, best efforts have been made to minimize impacts and avoid negative cumulative impacts. The west addition involves adding a second storey to a portion of the cottage. This will not result in further encroachment on the water setback. The proposed east addition has been located as far away from Dog Lake as is reasonable and possible. The ESA indicates this is the most appropriate location for an

with relatively deep soil. In this context, it is reasonable to expect that any building improvements, such as additions, will also occur within the 30 metre setback and directly attached to the existing structure. The Township's Official Plan recognizes its long standing lakeside developments by establishing the above referenced three tests to assess the appropriateness of additions to buildings already located within the 30 metre setback. By providing these criteria, the Official Plan is effectively recognizing modern development standards while limiting hardships placed on landowners resulting from historical development situations.

Test # 1 - Is it too big? (gross floor area, building foot print and lot coverage)

The Official Plan does not provide direction on what constitutes an appropriate level of intensification on a lot that contains existing development within 30 metres of the highwater mark. As a result of a lack of direction in the Official Plan or any guideline documents Township Staff have typically looked to the zoning by-law to come up with an opinion on size to control the scale of development on any given lot. Although the lot is narrow, it contains extensive water frontage and private road frontage that exceed the by-law requirements providing a wide vista of mostly natural shoreline. At 170 square metres, the footprint of the existing and proposed development covers only 2.7 percent of the total lot area. When combined with the footprints of other structures on the site (shed, gazebo, boathouse/bunkie) the coverage is 4.8 percent, still within the coverage requirement of the zoning by-law.

Another measure for determining whether additional height and/or gross floor area is appropriate used by the Township is lot occupancy, which is a ratio of the total gross floor area to lot area. Again, this direction is not directly stipulated in policy but has been traditionally used by Township Staff to measure appropriateness. The original cottage has a gross floor area of 158.1 square metres (1,702 sq ft) including the decks. This will increase to 252 square metres (2,713 sq. ft) with the proposed additions and decks. This means that the lot occupancy for the primary structure will only increase by 1.5 percent (from 2.5 percent to 4.0 percent) with the proposed additions. Furthermore, a portion of the addition area already supports a covered frame deck area, further minimizing the overall level of intensification of the development.

In conclusion, we are of the opinion that the first test is passed. The proposed additions represent a minor increase in floor area relative to the overall lot size and compared to the established scale of development.

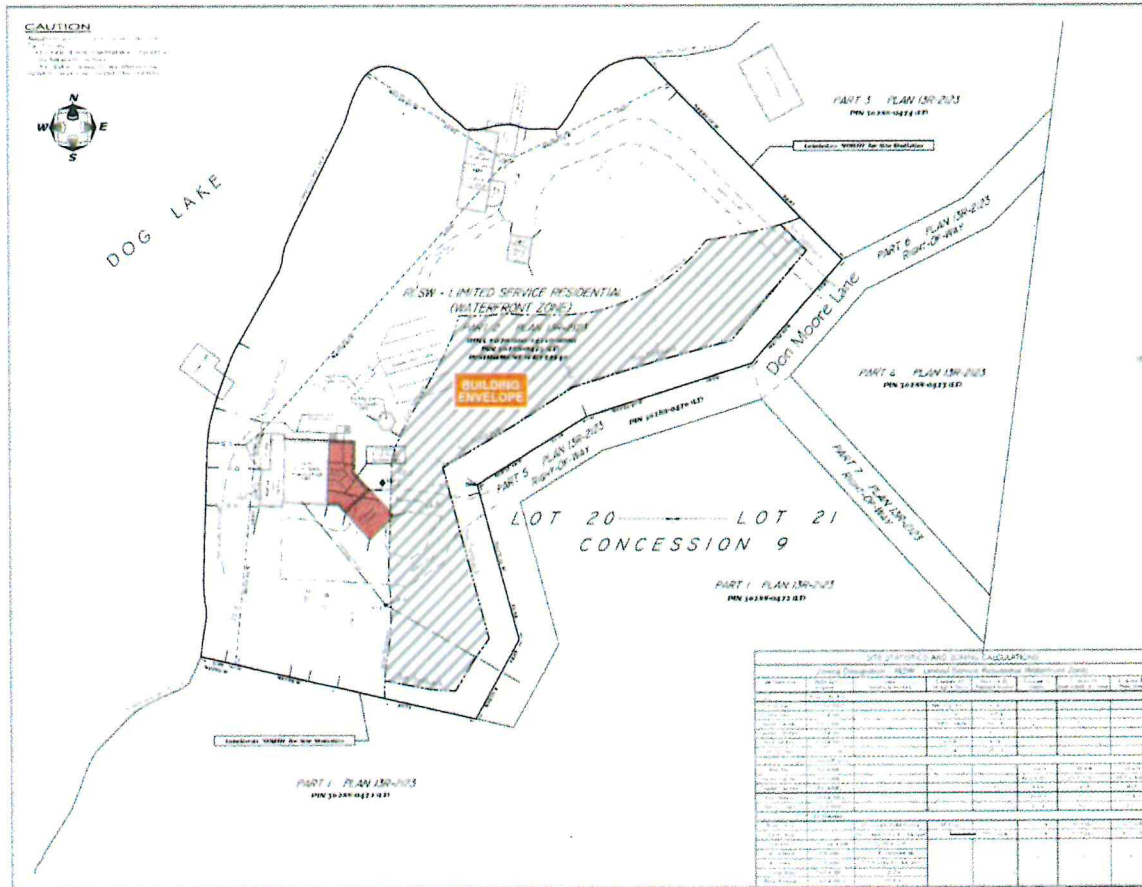
Test # 2 - Is it too close? (the closeness of the existing dwelling to the high water mark)

At its closest point, the deck from the existing cottage is located 6.3 metres from the highwater mark. The building is set back close to 9 m. The near vertical drop from the top of the bedrock to the water provides a further separation of approximately 6 metres. The proposed expansion involves the addition of a second storey above an existing enclosed porch. While this addition increases the overall gross floor area of the cottage, it does not result in a further encroachment on the setback from the highwater mark. A letter (included in the appendix to this report) has been provided from the designer attesting to the fact that the building as it stands today, sits on the original footprint of the dwelling.

The proposed development is also appropriate from a technical/environmental perspective. An Environmental Site Assessment was prepared which found that both the second storey addition and the proposed east addition will not negatively impact the natural heritage

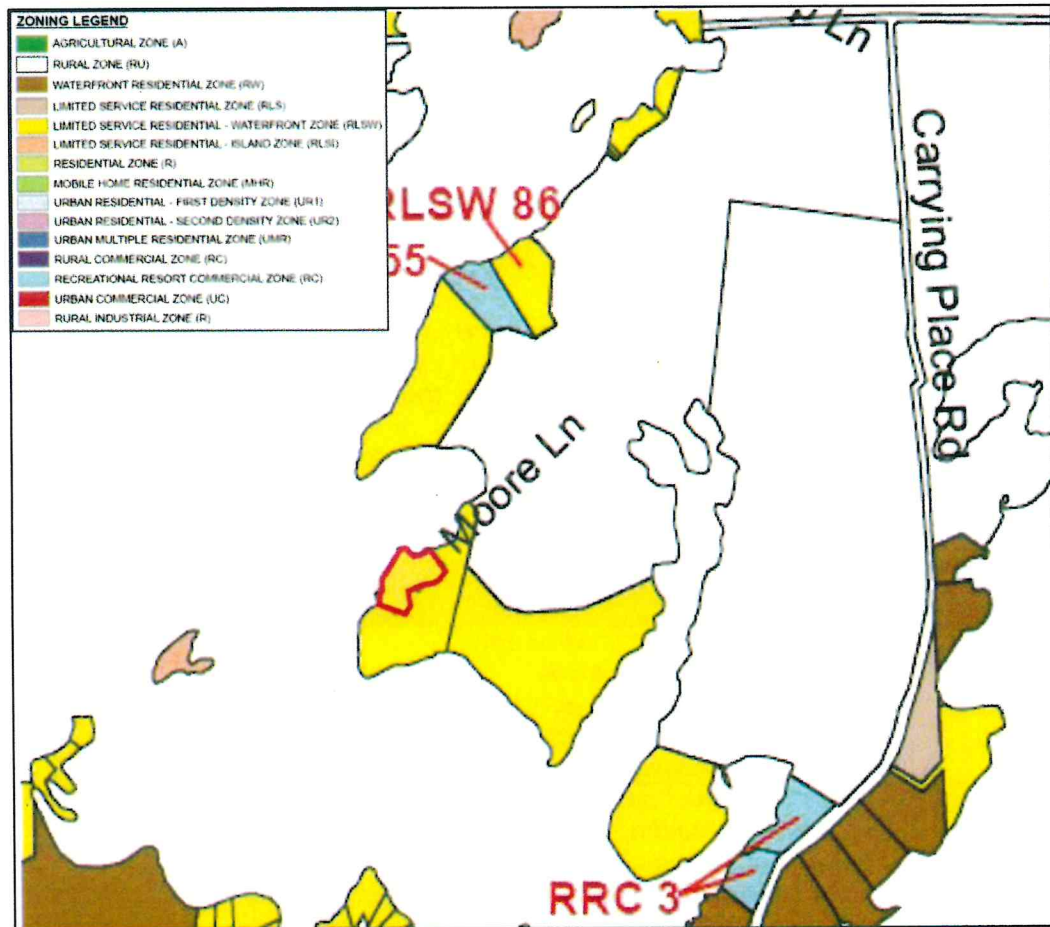
Test # 3 - Can it be built somewhere else? (the capacity of the lot to accommodate new development at a greater distance from the lake)

Despite its reasonable large size, the subject property is of a shape and layout that provides a very limited building envelope when taking into account the 30 metre highwater mark setback, rear yard setback and side yard setbacks (see Figure 7). The site is further constrained by the topography and terrain.



Based on the as-of-right building envelope and the site's physical constraints, requiring the owner to remove and relocate the addition would cause undue hardship. Alternatively, it is proposed that through thoughtful design, impacts can be reasonably mitigated in a way that satisfies the policies of the Official Plan while also allowing the owner to modestly expand on the existing dwelling which is a legal non-complying structure. Measures include ensuring that the building does not further encroach on the water, constructing the new east addition as far away from the lake as reasonably possible and installing a new tertiary septic system outside of the 30 metre water setback which will in fact result in a net improvement.

In conclusion, we are of the opinion that the third test is passed. The lot is not of a shape and nature to reasonably accommodate new development at a greater distance from the lake.



The proposed zoning for the site will consist of a site specific RLSW zone that addresses the following provisions:

PROVISION	REQUIREMENT	PROPOSED/EXISTING	COMPLIANCE
Lot Area (min.)	10,000 sq. metres	6,273 sq. metres	Existing Situation
Lot Frontage on a private lane (min.)	76 metres	113.2 metres	✓
Water Frontage (min)	91 metres	160 metres	✓
Front Yard (min.) (water)	30 metres	N/A	N/A
Rear Yard (min.)	10 metres	14.5 metres	✓
Interior Side Yard (min.)	3 metres	24.7 metres	✓
Exterior Side Yard (min.)	10 metres	N/A	N/A
Lot Coverage (max.) *	5%	Cottage: 2.7%	✓
		Accessory Structures: 1.8%	✓
Building Height (max.)	11 metres	8 metres	✓

PROVISION	REQUIREMENT	PROPOSED/ EXISTING	COMPLIANCE
	setback from the highwater mark of a waterbody or watercourse, then said building may be repaired, renovated or strengthened to a safe condition provided there is no enlargement of the gross floor area or increase in height. In addition, no living space shall be added below grade to any existing building or structure.	height.	Required.

Appropriateness of Proposed Zoning By-law Amendment

The reliefs required for minimum lot area, setback from the highwater mark and setback from the top of bank are all required to reflect the existing situation. The west addition will not increase the level of non-compliance with respect to setback from the highwater mark since it involves a second storey addition on the existing enclosed porch footprint. The east addition will extend away from the water and will respect the rear and interior side yard setback requirements.

Relief is being requested to permit an increase in the gross floor area and height of the building which is already located within the 30 metre setback from the highwater mark. Height has been increased over a portion of the cottage where a second storey has been added over an existing enclosed porch. This increase is appropriate from both a visual and environmental perspective. Natural building materials have been used so that the addition blends with the landscape when viewed from the water. Correspondence submitted by neighbouring residents express support for the addition, noting that the work completed “aligns with the general theme of the original home and the surrounding lakeside homes”. As noted previously, Ecological Services has no concerns from a environmental perspective. The rear addition will result in a modest increase in gross floor area and will be located as far away from Dog Lake as possible.

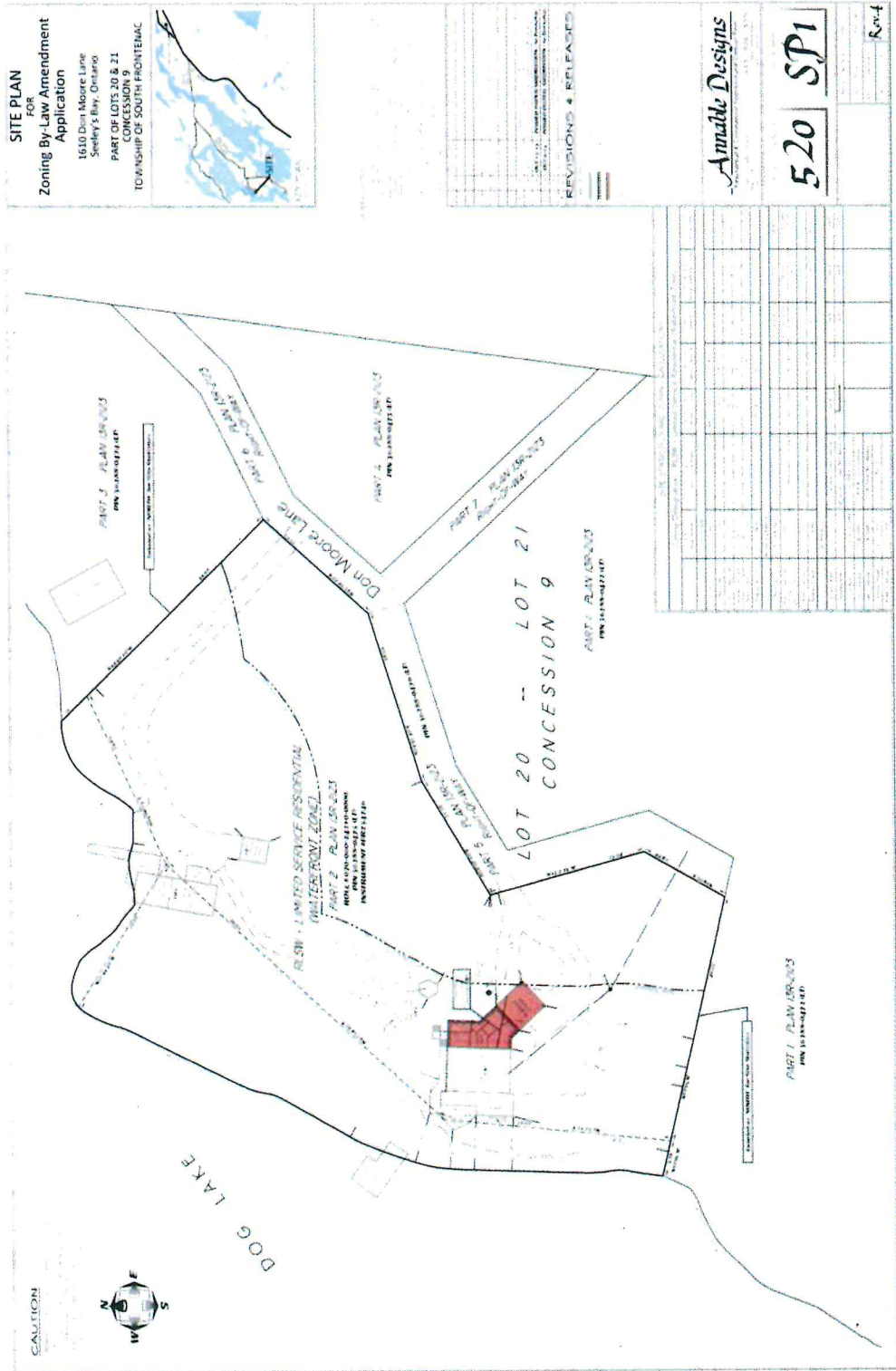
Finally, and as discussed above in detail, the proposal meets the tests of Section 5.2.7 of the Official Plan, which sets out criteria for determining the appropriateness of new additions to existing buildings located within the 30 metre highwater mark setback..

7. Conclusion

The Township contains many dwellings that were constructed before the current Official Plan and Zoning By-laws were implemented. In recognizing this, the Official Plan contains a series of tests to evaluate changes to development that is legally non-conforming or non-complying. This planning report demonstrates that the proposed Zoning By-law Amendment is appropriate because the development conform with the intent of the Official Plan in that:

- Section 4 encourages site alterations that improve existing conditions. This development will see net improvements through the replacement of the septic system and potentially, through the site plan control process, should the Township choose to utilize this tool. As noted, Site Plan Control could be used to re-naturalize the

8. Appendix A - Site Plan



10. Appendix C – Proposed Zoning

RLSW-X

Notwithstanding anything in this by-law to the contrary, the lands zoned Site Specific Limited Service Residential Waterfront shall be used only in accordance with the following:

- (a) The minimum required setback from the highwater mark shall be 6.0 m for the deck and 8.5 m for the dwelling
- (b) The minimum required setback from the top of bank shall be 1.0 m for the deck and 6.0 m for the dwelling

Notwithstanding the provisions of section 5.10.2, the maximum permitted gross floor area (including decks) of the principal dwelling shall be 255 square metres.



Perspective Views Inc

45 Robert Street
Hamilton ON L8L 2N9

Wednesday, November 25, 2015

Planning & Building Department
Township of South Frontenac
4432 George Street
Sydenham, ON K0H 2T0

Project Address: 1610 Don Moore Lane
Building Permit No.: 12 252923 BLD 00 SR

City Response Letter:

To whom it may concern, this letter is in regards to an issue regarding the original footprint of the dwelling, that has been brought to my attention by the owner of the property Don Stricelj.

The owner originally approached me to complete design drawings, during the time that he was repairing the original sunroom that was significantly damaged by a previous storm. I was then asked to come up with a design that involved a second story addition to tie into the existing dwelling.

To the best of my knowledge I believe that what has been built as it stands today, sits on the original footprint of the dwelling.

I hope this helps clarify any outstanding issues in this regard.

Sincerely,

Matthew Ribau - Perspective Views Inc.

PLANNING REPORT PUBLIC MEETING

**Township of South Frontenac
Prepared for Council
Agenda Date: July 5, 2016**

**Planning Department
File No. Z-16/08**

Date of Report: June 27, 2016

**Subject: Review of Application for Zoning By-law Amendment,
Part of Lot 11, Concession I, Storrington District,
Township of South Frontenac: Tripp**

Summary of the Recommendation

The recommendation is that Council consider passage of a zoning by-law amendment that would rezone a proposed new waterfront lot and the retained lot to recognize their small size. The rezoning is a condition of Consent Application S-11-16-S.

Purpose of the Report

The purpose of this report is to bring to Council an application for a zoning by-law amendment and to hold a public meeting on the application as required under the terms of the Planning Act. The report includes a location attachment, a lot configuration map, and an amending by-law.

Background

An application has been submitted to amend the Township's Comprehensive Zoning By-law to rezone land located at Loughborough Lake in Storrington. The rezoning would apply to a proposed new lot and the retained portion following from Consent Application S-11-16-S. The Committee of Adjustment gave approval to the consent application on April 14, 2016 on the condition that the new lot and the retained be rezoned. Attachment #1 shows the subject land.

The subject land is 1.21 hectares (3 ac.) in size with frontage on Loughborough Lake. The consent application proposes to create a new one acre parcel with 150 feet of waterfrontage from this land. The retained portion would be two acres with 300 feet of waterfrontage. Both portions are accessed by Sandpiper Lane which bisects the property and another right-of way through the land gives access to an abutting property on the southwest. Attachment #2 shows the development on the land and these rights-of-way.

Both the new lot and the retained lot are fully developed with a cottage and outbuildings and each has its own septic system. Thus, each portion is effectively a fully functioning separate lot.

Discussion

The land itself still retains much of its original vegetation and contains heavy mature trees through much of its area. The topography from immediately behind the cottage to the rear lot line of the proposed new lot is very precipitous and offers restrictions to development due to the steep slope and lack of space owing to the presence of the rights-of-way through the property.

Official Plan

The lands are designated Rural in the Official Plan. The Plan permits lakefront development as proposed, however, it specifies that only one dwelling be permitted per lot. It requires that new waterfront lot creation should generally be one hectare in size and have 91 metres of waterfrontage. Furthermore, this portion of Loughborough Lake is identified as being “at capacity” (formerly called highly sensitive) for development - meaning that the province intends that there be no new development around such waterbodies to protect lake trout habitat. The objective of this lake designation is to prevent any new sources of nutrient loading to the lake

Within the Official Plan, section 7.1 ‘General Consent Policies’, permits special consideration for existing lots of record which contain two separate dwellings. In the case of this application, there are two completely separate dwellings i.e., one year-round home (on the retained) and one seasonal cottage (on the proposed new lot). Dividing the lot would effectively place each dwelling on its own parcel of land – consistent with the intent of the Plan in this regard. Thus, the result of creating the lot would be a parcel that does not meet the provisions of the Plan in terms of minimum lot size and frontage but a lot that would at least satisfy the provision of the Plan noted above. It is justified in the fact that any adverse effects of the existing development already exist and creating the new lot is not exacerbating these effects.

Recommendations in an environmental report dated December 1, 2015 from Ontario Lake Assessments, outlines the fact that the new lot would be small and that the sensitive lake should be protected but the report ultimately gives support for the proposal with restrictions placed in the amending zoning by-law. Similarly, the Cataraqui Region Conservation Authority supports the application – again with restrictions. Prior to submission of the application the Ministry of Environment and Climate Change commented that they agree with the approach. These documents are attached for reference as Attachment #3.

Zoning

The land is zoned Limited Service Residential-Waterfront (RLSW) recognizing its residential use and private lane access. The zoning amendment would change the zone on the new lot and the retained lot to acknowledge their smaller size and reduced lake frontage. It would also place restrictions on the new lot to permit future development that is not larger than the existing development and to require that new development be located further from the lake. Two special RLSW zones are proposed for this.

Agency Comments

All agencies commented in favour of the proposal at the consent stage including the CRCA and the MOECC as noted above. Comments from KFL&A Public Health are also attached to Attachment #3. No comments have been received from the public in response to the circulation of the application.

Conclusion

In consideration of the above review, it is this Department’s conclusion that the re-zoning to recognize that the special circumstances of the new and retained lots can be supported. The environmental report from Ontario Lake Assessments and the CRCA report both support the application requiring that restrictions be put on further development on the small lot. These restrictions would limit the size of any new construction to only the size of the existing seasonal dwelling i.e., a footprint of 850 ft.². However, the Planning Department would also recommend that any new development be located at a minimum distance from the lake of 36 metres (98 ft.). This would place the building between the two rights-of-way that cut through the property. The lot offers challenges to this building placement because of the steepness of the land and

the presence of the two private lanes but careful measurement by Planning has determined that this setback is possible.

Specifically, a special zone on the retained land would acknowledge its size of two acres. The special zone on the new lot would:

- acknowledge its size of only 1 acre,
- acknowledge its waterfrontage of only 51 metres (167 ft.),
- specify that any new dwelling to be constructed must be limited to a maximum gross floor area of 800 ft.² and a maximum footprint of 850 ft.²
- require new construction to be a minimum of 36 metres from the lake.

Based on the above, the zoning amendment application can be supported.

Recommendation

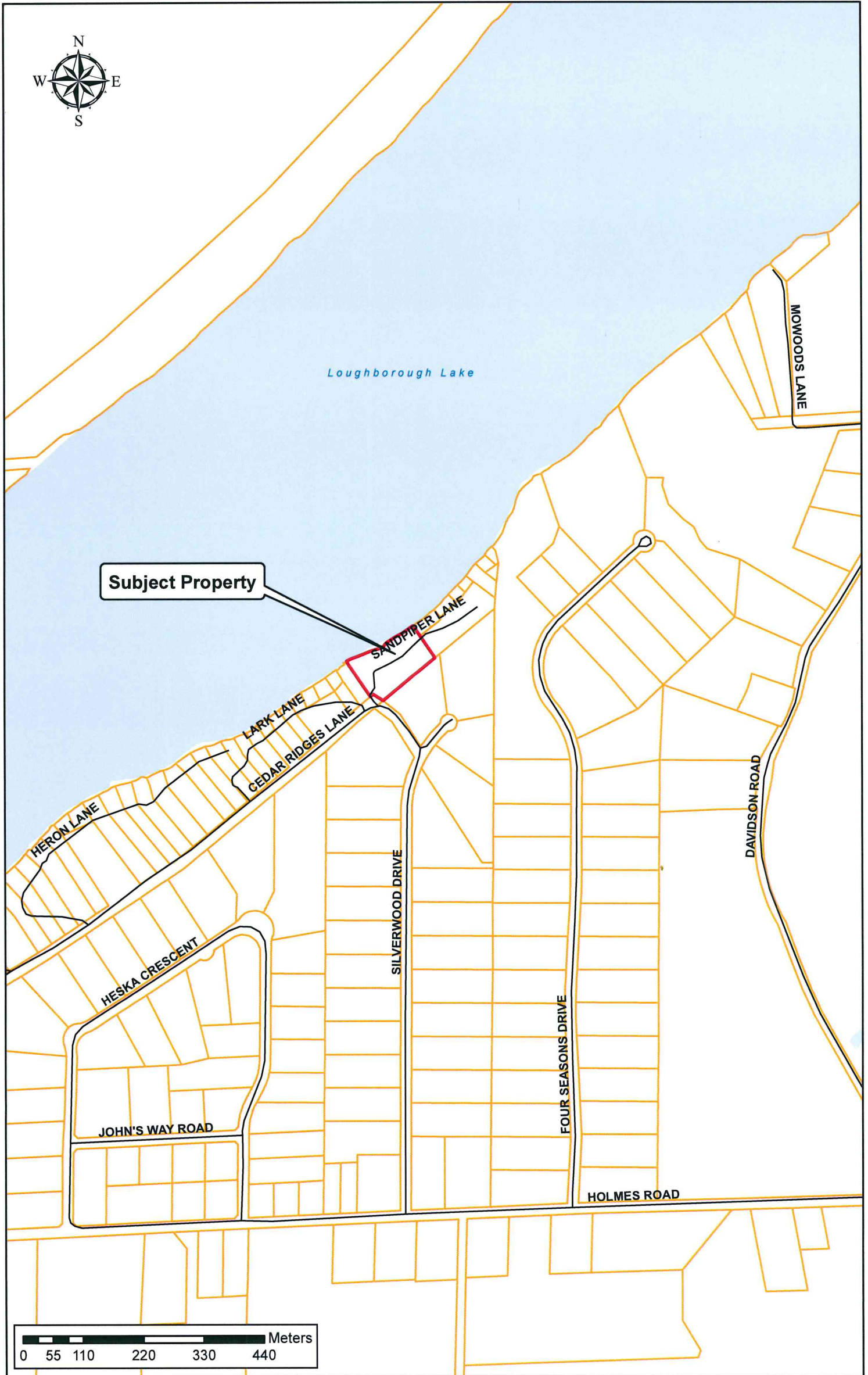
On the basis of the above review, it is recommended that the attached zoning amending By-law No. 2016-41, to change the zone on the retained portion of land from RLSW to Special RLSW- 112 and to change the zone on the new lot from RLSW to Special RLSW- 113, **be considered for passage.**

Submitted/approved by: Lindsay Mills

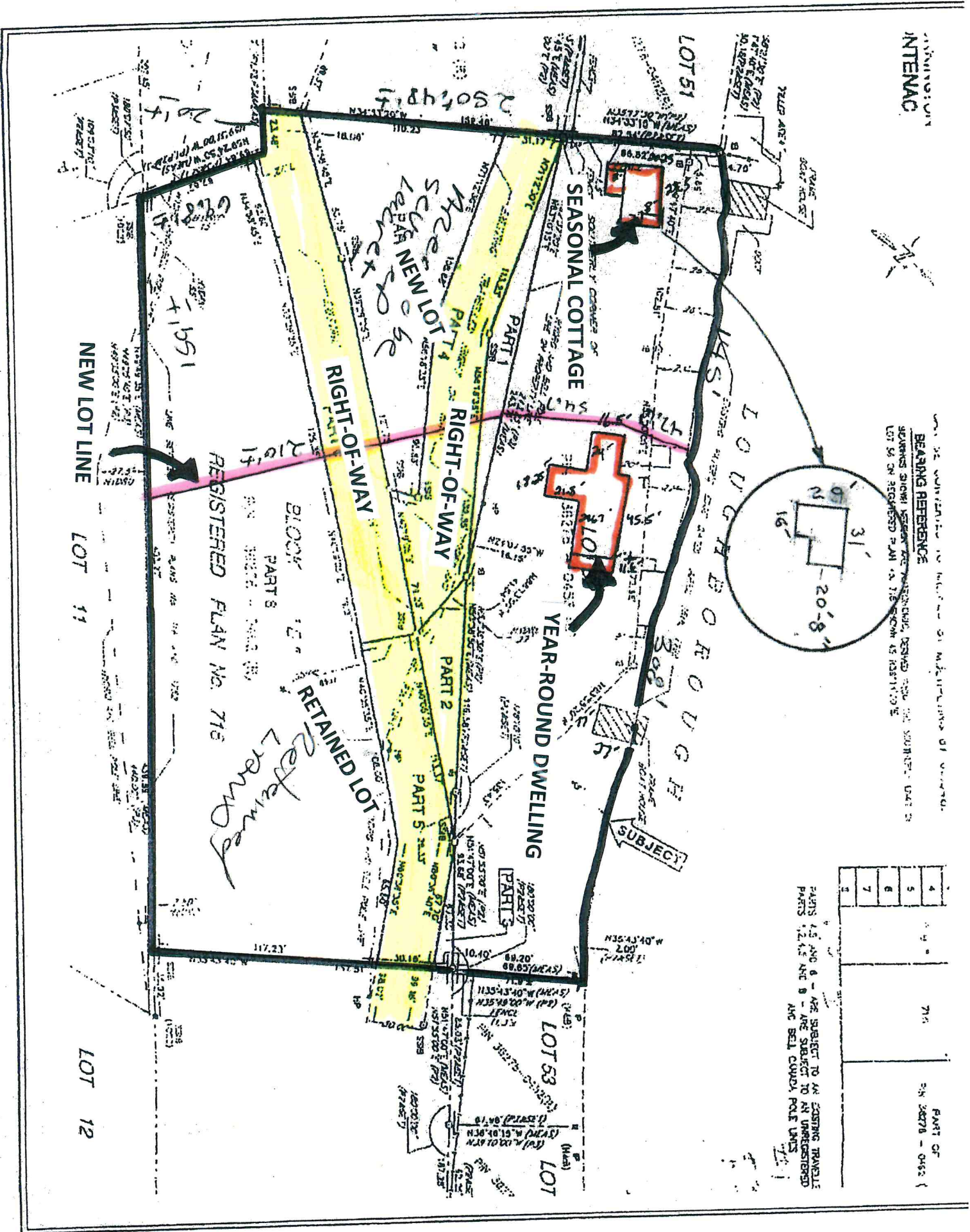
Prepared by: Lindsay Mills,

TrippRezoningReport

Attachment #1



ATTACHMENT #2





1 December 2015

ATTACHMENT #3

Township of South Frontenac
4432 George Street
Box 100
SYDENHAM, Ontario
K0H 2T0

Attention: Lindsay Mills, Deputy Clerk/Planning Coordinator

REGARDS: Preliminary EIA - Application for Severance – Rosemarie Tripp- 1015 Sandpiper Lane – Part of Lot 52, Block B; Registered Plan 716; South Frontenac Township; (Storrington District) – Loughborough Lake (West Basin)

Dear Mr. Mills:

A site visit was conducted to the above location on November 25th, 2015 to determine the possibility of attaining a severance. At present there are two residential structures on one parcel; one is a permanent residence, the other is used for seasonal cottage use; both buildings and their septic systems are located closer to the water than the 30 metre setbacks required to satisfy present-day standards on lakes; the front of the cottage and the septic are approximately 13 to 15 metres from the water.

The cottage is 750 ft² in area with two bedrooms (considered a three bedroom as described by M. Tripp); it has an open concept kitchen-living room area and one bath that includes a toilet, shower and sink. The date of construction of the cottage is not known but could be as early as the 1960s. There is no record of a septic approval for the cottage. The cottage is serviced by a class IV septic system; the septic tank is located beneath the cottage on the lakeside front west corner; the septic 'bed' is located in front of the cottage with a weeping tile run (or runs) parallel the lakeshore (personal communication M. Tripp). There does not appear to be space for a conventional sized bed between the cottage and the shoreline. Neither the cottage nor the septic bed meet the current day standard of 30 metres for setback from the water. The septic bed is well within 15 metres of the top of bank for the shoreline. There is a lawn maintained over the indicated septic area as well as between the permanent residence and the cottage. A single storey lake access boat house is located in front of the cottage.

There is a long history of management efforts by both the Ontario Ministry of Natural Resources and Forestry (OMNRF) and the Ontario Ministry of Environment and Climate Change (OMECC) to manage a lake trout fishery in Loughborough Lake. One aspect of that management effort is to protect the existing water quality for the survival of the lake trout population. The main concern with respect to water quality is the migration of nutrients, particularly phosphorus, from the land to the water. Phosphorus loadings to the lake increase with human disturbance near the lake such

.... 2

as the removal of the natural shoreline vegetation (trees and understory), the installation of lawns and of course the migration of nutrients away from septic systems. The nutrient loading from septic systems increases with increased use; when cottages are converted to year round use the supply of nutrients to a septic bed increases proportionally to the number of person-days of occupancy.

Increased phosphorus concentrations in the lake cause increased algal growth in the water column and a decrease in oxygen levels in the deep water portions of the lake. The decline in oxygen levels can become critical to the management of lake trout populations. Loughborough Lake has been modelled using the Ontario Lake Capacity Model; this model predicts how a lake will respond to changes in nutrient supply. Loughborough Lake (West Basin) was determined to be highly sensitive using this methodology; it was classified as such in the joint MOE/MNR report 'Inland Lake Trout Management in Southeastern Ontario (January 1993); it is identified in the Official Plan (OP) for South Frontenac Township as highly sensitive. Since the writing of the OP, the MOECC has collected more recent field data (August 30th, 2005) and have also the applied a more restrictive oxygen objective in the re-evaluation of Loughborough Lake; the result supports the highly sensitive category and the lake is now designated 'at capacity'.

This designation **does not allow for the creation of new lots** and places very strict development standards on existing vacant lots of record as well as all re-development. The objective of the designation is to prevent any new source of nutrient supply to the lake while recognizing the possibility that vacant lots exist that may be developed but cannot meet the current day standards for lot sizes and setbacks on the lake. These lots may be developed using the best management practices that can be achieved for the location; in some circumstances development may not be accommodated at all.

The situation for this property is somewhat different yet not an uncommon situation. It was a 'common' practice decades ago, particularly where one family owned a large property, for family members to construct separate cottages on the same shared parcel of land. In later years applications come before council to create separate lots. In the past, where the property size is large enough and **all planning considerations can be accommodated**, severances have occurred where **cottages in existing use** could be located on separate lots; this is more easily achieved on lakes with warm water fisheries and where there are less onerous development constraints than for locations on lakes managed for lake trout fisheries.

The proposal for this property is to sever the parcel to allow the existing seasonal residential use to be on a separate lot from the permanent residence; this would also satisfy the requirements of the Official Plan for South Frontenac Township which allows for only one principal residence per lot. The existing residence was also a cottage at one time; a small portion of the original cottage is part of the structure of the now permanent residence.

While the nutrient loading to the lake from each of these structures is recognised and ongoing, one

..... 3

can argue that creating a new lot to accommodate each on a separate parcel does not increase the nutrient loading and therefore there is no environmental impact. A problem arises however when the cottage on the newly created lot becomes converted to permanent year round use and the nutrient loading to the lake proportionally increases with use.

The proposal is to create a new undersized lot of 0.4 ha (1.0 acre); this is contrary to the OP which requires all waterfront lots to be 1.0 ha (2.47 ac) in size. The proposal also includes the creation of a undersized lot in terms of water frontage; 45.7m (150') instead of the required 91.5 m (300'). The proposed lot also has some difficulties due to both topography and legal right-of-ways across the parcel. The newly created lot will be transected by Sand Piper Lane at two different locals; once immediately behind the cottage and again further up the slope near to the entrance off of Cedar Ridges Lane. The topography from immediately behind the cottage to the rear lot line of the proposed new lot is very precipitous and is not suitable as a location for a new septic system due to the steep slope and lack of space due to the lane crossings.

This proposed lot does not provide space to re-locate a new cottage or permanent residence with a new septic bed further back from the lake and therefore support for the argument that a reduction in nutrient loading might be achieved. The concern with the application is that it will lead to the cottage being converted to year round use on an undersized lot and therefore increase the nutrient load to the lake; a permanent residence increases the nutrient supply by a factor of five.

The recommendation for approval of this lot should be conditional upon the cottage having the same footprint in the future with no provision for increasing the living space by way of adding a second storey. Also, in the event that the septic system fails in the future and needs replacing, a tertiary treatment system should be required.

If you have any questions regarding the above, please feel free to give me a call.

Respectfully yours,



Reginald Genge B.Sc.
Ontario Lake Assessments
3654 Stage Coach Road
RR# 3
HARROWSMITH, On.
K0H 1V0
rgenge@kos.net
613-376-3863

Copies to: Mr. Bill Bishop
Box 1403
338 Montreal Street
KINGSTON, On.
K7L 5C6

Ms Rosemarie Tripp
1015 Sandpiper Lane
INVERARY, On
K0H 1X0



CATARAQUI REGION CONSERVATION AUTHORITY

1641 Perth Road, P.O. Box 160 Glenburnie, Ontario K0H 1S0
Phone: (613) 546-4228 Toll Free (613 area code): 1-877-956-CRCA
Fax: (613) 547-6474 E-mail: info@crca.ca
Websites: www.crc.ca & www.cleanwatercataraqui.ca



February 29, 2016

File: SEV/FRS/27/2016

Sent by E-mail

Ms. Jennie Kapusta, Planning Assistant
Township of South Frontenac
P.O. Box 100
Sydenham, Ontario
K0H 2T0

Dear Ms. Kapusta:

**Re: Application for Consent to Sever S-11-16-S (Tripp)
Lot 11, Concession 1; 1007 & 1015 Sandpiper Lane
Storrington District, Township of South Frontenac
Waterbody: Loughborough Lake (west basin)**

Staff of the Cataraqui Region Conservation Authority (CRCA) have reviewed the above-noted application for consent to sever and offer the following comments for the Land Division Committee's consideration. The site was visited by CRCA staff on February 26, 2016.

Summary of the Proposal

The applicant has requested severance of a 0.45 hectare parcel of land with approximately 45.7 metres of water frontage on Loughborough Lake. The lot to be severed presently contains a cottage dwelling, and it is proposed that this lot will continue to be used for residential / recreational purposes. The lot to be retained would be approximately 0.78 hectares in area, and will remain as a residential property.

Site Description

The subject property is located on the west basin of Loughborough Lake. The topography of the site can be characterized as sloping gradually down from Sandpiper Lane to the south to Loughborough Lake to the north. The property consists of a mixture of wooded and open areas.

The property is designated 'Rural' in the Official Plan and zoned 'Limited Service Residential – Waterfront' (RLSW) in the implementing Zoning By-law. The west basin of Loughborough Lake is identified as a highly sensitive Lake Trout Lake in the Official Plan for the Township of South Frontenac.

Discussion

The main interest of the CRCA in this proposal is the protection of water quality of Loughborough Lake and the avoidance of natural hazards (e.g. flooding and erosion) associated with the shoreline.

Natural Hazards

Flooding: The maximum recorded water level for Loughborough Lake is 125.03 metres geodetic. For Loughborough Lake, the maximum recorded water level is used in lieu of an engineered flood plain. The CRCA Planning Policy requires all development and site alteration to be setback a minimum of 6 metres from the regulatory floodplain of a waterbody. Based upon site observations and mapping information, the existing structures are not subject to flood risk.

Erosion: For stable slopes, the CRCA defines the extent of potential erosion hazards to include the slope, plus an access allowance of 6 metres. Based upon site observations and mapping information, the existing structures are not subject to erosion hazards.

Water Quality

Section 2.2 of the Provincial Policy Statement (PPS) suggests that planning authorities should seek to protect, improve or restore the quality and quantity of water. Accordingly, the Official Plan and Zoning By-law for the Township of South Frontenac provide guidance with respect to how development should occur in consideration of protecting, improving and restoring water quality within the municipality. Similarly, the CRCA's Planning Policy (April, 2015) contains provisions that seek to support these objectives.

As noted above, the west basin of Loughborough Lake is classified as a highly sensitive Lake Trout Lake, and as such, the waterbody is afforded additional protection to ensure development does not negatively impact the water quality of the lake. A preliminary environmental impact assessment has been completed by Ontario Lake Assessments (Reginald Genge) dated December 1, 2015. Staff share the concerns raised by Mr. Genge with respect to the potential conversion of the seasonal cottage to a year-round residence and the associated impacts on the lake's water quality.

Recommendation

Staff recommend that the municipality consider placing a site specific zone onto the severed parcel to ensure that there will be no future opportunity for expansion of the living space (upward or outward) of the existing dwelling as suggested in Mr. Genge's report.

Staff have no objection to the approval of application S-11-16-S based on our consideration for natural hazards, natural heritage, and water quality and quantity protection policies.

Please note that a portion of the retained and severed parcels are subject to Ontario Regulation 148/06: Development, Interference with Wetlands, and Alterations to Shorelines and Watercourses, which is administered by the CRCA. The purpose of the regulation is to ensure that proposed changes (e.g. development and site alteration) to a property are not affected by natural hazards, such as flooding and erosion, and that the changes do not put other properties at greater risk from these hazards. Within a regulated area, written permission must be obtained from the CRCA prior to development taking place. Present and future landowners are required to contact the CRCA to determine the need for a permit.

Ms. Jennie Kapusta (S-11-16-S)
February 29, 2016

Please inform this office of any decision made by the Committee with regard to this application. If you have any questions, please contact the undersigned at 613-546-4228 ext. 244, or by e-mail at aschmidt@crca.ca

Yours truly,



Andrew Schmidt, C. Tech.
Development Review Manager

/as

c.c. Rosemarie Tripp, 1015 Sandpiper Lane, Inverary, ON, K0H 1X0

Lindsay Mills

From: Castro, Victor (MOECC) <Victor.Castro@ontario.ca>
Sent: December-10-15 9:06 AM
To: Lindsay Mills
Subject: RE: Tripp Proposed Severance

Hi Lindsay,

Your approach seems reasonable and is consistent with past practice to allow a severance to divide existing cottages/dwellings. I also agree with rezoning the properties to not increase the footprint. I have seen too many cases where a small cottage is replaced with a large home very close to the shoreline and on a postage stamp lot.

Thanks for sending me the information.


Regards

Victor Castro
Senior Aquatic Scientist
Eastern Region MOECC

TASKalfa 2551ci
[00:17:c8:07:e4:92]

CONSENT TO SEWER INSPECTION

Environmental Health Department

FILE NO. S-11-16-S	RECEIPT No. SK-6-16	HUG 	E	U
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Owner Rosemarie Tripp	Lot Part Lot 52	Concession	Plan 716	Sub-lot
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Township
Storrington, South Frontenac

General Description (existing buildings, surface drainage, slopes, etc. [on each part] and proposed water supply)

**Severed - Dwelling, boathouse, cliff towards water
 - Rocky**

Retained – House, shed, boathouse, sloped towards water

Soil type, depth, water table on each part of likely leaching bed areas. Indicate water table with bar. Show estimated permeability (good, fair, poor) for each part where natural soil is acceptable.

Severed	Depth of Soil (metres)	Retained
	Test hole 1	<u>0</u>
	12 inches soil	<u>.3</u>
		<u>.6</u>
	Test hole 2	Rock <u>.9</u>
	6 inches to rock	<u>1.2</u>
		<u>1.5</u>

Percolation rate (estimated) _____ Percolation rate (estimated) _____

Suitability for on site sewage disposal:

NOTE: The approval of any new lot is based on it's suitability to provide an area for a Class 4 septic tank system for an average 3 bedroom home. Approval to build a larger home on this lot will be subject to availability of sufficient area for a larger septic tank system.

<p><u>Severed</u></p> <p><input checked="" type="checkbox"/> Satisfactory</p> <p><input type="checkbox"/> Unsatisfactory</p> <p><input type="checkbox"/> Site Flexible</p> <p><input type="checkbox"/> Site Specific</p>	<p>Conditions:</p> <p>Should the current septic fail, the property will most likely have to be serviced by a holding tank</p>
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<p><u>Retained</u></p> <p><input type="checkbox"/> Satisfactory</p> <p><input type="checkbox"/> Unsatisfactory</p> <p><input type="checkbox"/> Site Flexible</p> <p><input type="checkbox"/> Site Specific</p>	<p>Conditions:</p>
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Inspector: Miranda Iezzi, C.P.H.I.(C)	Approved: 	Date: April 4, 2016
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PLEASE FORWARD A COPY OF THE NOTICE OF DECISION TO PUBLIC HEALTH

Personal information on this form is collected under the authority of the Building Code Act and will be used for the administration of Public Health programs. Any questions about the collection of this information should be directed to the Manager, Environmental Health, KFL&A Public Health, 221 Portsmouth Avenue, Kingston, Ontario K7M 1V5, 613-549-1232 ext. 1243, 1-800-267-7875

Minutes of Council
June, 21, 2016

Time: 6:00 PM

Location: Council Chambers

Meeting # 21

Present: Mayor Ron Vandewal, Pat Barr, John McDougall, Alan Revill, Norm Roberts, Mark Schjerning, Ron Sleeth Ross Sutherland

Staff: Wayne Orr, Chief Administrative Officer, Lindsay Mills, Planner, Mark Segsworth, Public Works Manager, Louise Fragnito, Treasurer, Angela Maddocks, Executive Assistant.

1. Presentation of Volunteer Recognition Awards - 6:00 pm
 - a) Volunteer Recipients and invited guests met for light refreshments prior to the presentation of awards at 6:40 pm

The following individuals were recipients of the Volunteer Award for 2015:

- Linda Bates
- Wilma Kenny
- Eileen Sleeth
- Rachael Smith-Tryon

2. Call to Order - Regular Meeting - 7:06 pm

- a) Resolution

Resolution No. 2016-21-1
Moved by Councillor Sleeth
Seconded by Deputy Mayor Sutherland

THAT the Council meeting of June 21, 2016 be called to order at 7:06 p.m.

Carried

3. Declaration of pecuniary interest and the general nature thereof
 - a) Deputy Mayor Sutherland declared a pecuniary interest with respect to Agenda Item 8(e).

4. Scheduled Closed Session - n/a

5. ***Recess *** - n/a

6. Public Meeting

- a) Resolution

Resolution No. 2016-21-2
Moved by Councillor Revill
Seconded by Deputy Mayor Sutherland

THAT a public meeting be held to discuss planning matters related to:

- Zoning By-law Amendment in Part of Lot 6, Concession V, Bedford

Carried

- b) Review of Application for Zoning By-law Amendment in Part of Lot 6, Concession V, Bedford

Lindsay Mills explained that the purpose of this application is to rezone three new residential lots on James Wilson Road at Canoe Lake from Rural to Residential. Two of the proposed lots and the retained lot would have frontage

on a new lane that would be constructed off James Wilson Road while one new lot would fully front on James Wilson Road. Mr. Mills also noted the review of the setback requirement from the water and that Lot 3 is required to have a 45 metre setback.

Deputy Mayor Sutherland questioned the lot location that has the 45 metre setback requirement and if there is a site specific site plan in place.

Mr. Mills noted that the west lot that is beside the retained lot requires the 45 metre setback and confirmed there will be a site specific site plan for the lots.

Otto Peter, who owns property directly to the west, asked if the applicant will have to have wells drilled as he had been told he would have to drill wells on both the severed and retained and upgrade the road when he had asked about severing his property.

Mr. Mills explained that when properties are waterfront there is not a requirement to drill wells as it is presumed they will have access to water directly from the lake.

There were no other comments from the public.

Resolution No. 2016-21-3
Moved by Deputy Mayor Sutherland
Seconded by Councillor Revill

THAT an opportunity having been provided, the public meeting be closed.

Carried

7. Approval of Minutes

a) Council Meeting of June 7, 2016

Resolution No. 2016-21-4
Moved by Councillor Revill
Seconded by Deputy Mayor Sutherland

THAT Council approve the minutes of the June 7, 2016 Council Meeting.

Carried

b) Committee of the Whole meeting of June 14, 2016

Resolution No. 2016-21-5
Moved by Deputy Mayor Sutherland
Seconded by Councillor Revill

THAT Council approve the minutes of the June 14, 2016 Committee of the Whole meeting.

Carried

8. Business Arising from the Minutes

a) Louise Fragnito, Treasurer, re: Canada 150 Community Infrastructure Program - Intake Two

Resolution No. 2016-21-6
Moved by Councillor Sleeth
Seconded by Councillor Revill

THAT Council endorse the staff recommendation of Storrington Centre being submitted as the project for funding under the Canada 150 Community Infrastructure Program - Intake Two.

Carried

- b) Louise Fragnito, Treasurer, re: Vendor of Record Listing

Resolution No. 2016-21-7
Moved by Deputy Mayor Sutherland
Seconded by Councillor Revill

THAT Council approves the attached Vendor of Record Listing.

Carried

- c) Mark Segsworth, Public Works Manager, re: Capital Budget Amendments

Resolution No. 2016-21-8
Moved by Councillor Revill
Seconded by Deputy Mayor Sutherland

THAT Council approve the amended 2016 Linear Asset Capital Budget as presented on June 14, 2016.

Carried

- d) Wayne Orr, Chief Administrative Officer, re: Notice of Motion - Organizational Review

This item was considered part of Agenda Item 8(f)

- e) Wayne Orr, Chief Administrative Officer, re: Notice of Motion - Prison Farms

Resolution No. 2016-21-9
Moved by Councillor Sleeth
Seconded by Councillor Revill

THAT Council support the reestablishment of the Prison Farm Program and that this be communicated to the applicable parties.

Carried

- f) Wayne Orr, Chief Administrative Officer, re: Notice of Motion - CAO's Recommendations on the Organizational Review from June 7, 2016

Resolution No. 2016-21-10
Moved by Councillor Sleeth
Seconded by Councillor Revill

THAT the CAO's Organizational Review recommendations #2 -5, defeated June 7, be brought back for reconsideration.

Carried

Resolution No. 2016-21-11
Moved by Deputy Mayor Sutherland
Seconded by Councillor Revill

THAT Council adopt the 2016 CAO organizational review recommendations effective July 1, 2016

Amendment:

Moved by Councillor Sleeth
Seconded by Councillor Roberts

AND THAT the 2016 changes proposed within recommendation #2 be amended to exclude the relocation of the Public Works Manager

Resolution No. 2016-21-12
Moved by Councillor McDougall
Seconded by Councillor Revill

THAT the motions and amendments be referred to Corporate Services Committee.

Carried

Resolution No. 2016-21-13
Moved by Councillor Barr
Seconded by Councillor Roberts

THAT recommendations #3 to 5 be referred to the Corporate Services Committee.

Carried

9. Reports Requiring Action

- a) Lindsay Mills, Planner, re: Review of Request to Remove Holding Symbol - Part of Part Lot 8, Concession V, Loughborough

See By-law 2016-39

- b) Lindsay Mills, Planner, re: Request to Permit a Special Event Celebration - Part Lot 25, Concession V, Storrington

Resolution No. 2016-21-14
Moved by Councillor Schjerning
Seconded by Councillor McDougall

THAT Council authorize an exemption from By-law 2015-41 (the Noise By-law) to permit an outdoor wedding celebration to take place on June 25, 2016 on property described as Part of Lot 25, Concession V, Storrington District, municipally known as 4587 Kauffman Lane.

Carried

10. Committee Meeting Minutes

- a) Loughborough Canada Day Committee meeting of May 26, 2016
b) Loughborough Recreation Committee meeting of April 25, 2016
c) South Frontenac Recreation meeting of May 16, 2016

Mayor Vandewal removed himself as Chair to speak to this resolution and propose an amendment.

Deputy Mayor Sutherland called for the vote on this resolution after which Mayor Vandewal assumed the chair.

Resolution No. 2016-21-15
Moved by Councillor McDougall
Seconded by Councillor Schjerning

THAT Council supports the South Frontenac Recreation Committee recommendation to conduct a feasibility study to pursue a skateboard park in Centennial Park in Harrowsmith as amended.

Carried.

AMENDMENT:

Moved by Mayor Vandewal
Seconded by Councillor Sleeth

AND THAT staff wait until the ongoing recreation survey is completed before undertaking the feasibility study.

Carried

d) Public Services Committee meeting of April 21, 2016

e) Public Services Committee meeting of May 19, 2016

Resolution No. 2016-21-16
Moved by Councillor Schjerning
Seconded by Councillor McDougall

THAT Council receives for information the minutes of the following committee meetings:

- Loughborough Canada Day Committee meeting of May 26, 2016
- Loughborough Recreation Committee meeting of April 25, 2016
- South Frontenac Recreation Committee meeting of May 16, 2016
- Public Services Committee meeting of April 21, 2016
- Public Services Committee meeting of May 19, 2016

Carried

11. By-Laws

a) By-law 2016-38 - Rezone Con V, Part Lot 6 Bedford

Resolution No. 2016-21-17
Moved by Councillor Barr
Seconded by Councillor Rpberts

THAT the following by-laws be given first and second reading:

- By-law 2016-38
- By-law 2016-39

Carried

Resolution No. 2016-21-18
Moved by Councillor Barr
Seconded by Councillor Roberts

THAT By-law 2016-38, being a by-law to amend By-law 2003-75, as amended, to rezone lands from Special Limited Service Residential Zone (RLS-2) to Waterfront Residential Zone (RW), Limited Service Residential-Waterfront Zone (RLSW) and Special Limited Service Residential-Waterfront Zone (RLSW-111) ; Part Lot 6, Concession V, District of Bedford, be given third reading, signed and sealed.

Carried

b) By-law 2016-39 - Remove Holding Symbol - Con V, Part Lot 8; Loughborough

Resolution No. 2016-21-19
Moved by Councillor Barr
Seconded by Councillor Roberts

THAT By-law 2016-39, being a by-law to remove the holding "H" symbol from the Zoning Map of Zoning By-law 2003-75 as amended; Part of Lot 8, Concession V, Loughborough District, be given third reading signed and sealed.

Carried

12. Reports for Information

- a) Accounts Payable and Payroll Listing
- b) Mark Segsworth, Public Works Manager, re: Ontario Waste Management Association

Mayor Vandewal noted the appointment of Mark Segsworth, Public Works Manager to the Ontario Waste Management Association.

- c) Mark Segsworth, Public Works Manager, re: Environmental Cleanup in Hartington

13. Information Items

- a) Michelle Foxtan & Wade Leonard, re: June 14, 2016 Committee of the Whole Item #6e
- b) Around the Rideau Newsletter - May-June 2016
- c) Bob Chiarelli, Minister of Energy, re: response to Large Renewable Procurement resolution
- d) Mike Palecek, Nation President, CUPW, re: Federal Government Review of Public Postal Service
- e) Michael Jacek, Senior Advisor, AMO, re: Basic Income Guarantee

14. Notice of Motions

- a) Deputy Mayor Sutherland served notice of motion with respect to the June 14, 2016 Agenda Item 6 g) and that the applicant should only pay for his own legal fees.

15. Announcements

- a) Deputy Mayor Sutherland provided an update on the success of the Cyclefest in Verona and Skills course at Perth Road Public School.
- b) Councillor Sleeth asked about the conditions on the Johnston Point Development and ongoing surveillance to ensure these conditions are being followed.

Lindsay Mills reported that he will be conducting a site inspection this week.

- c) Councillor Schjerning acknowledged the participation of the Sydenham Station firefighters, the OPP and paramedics who attended the Loughborough Public School Family Fun Night.

Mayor Vandewal commended the firefighters for attending the Cyclefest in Verona.

- d) Councillor McDougall referred to the brochure he distributed from the County of Frontenac and the City of Kingston regarding the 2015 Report on Housing and Homelessness, specifically the article on secondary suites.

16. Question of Clarity (from the public on outcome of agenda items)

17. Closed Session - n/a

18. Confirmatory By-law

a) By-law 2016-40

Resolution No. 2016-21-20
Moved by Councillor Roberts
Seconded by Councillor Barr

THAT By-law 2016-40, being a by-law to confirm generally previous actions of the Council of the Township of South Frontenac be given first and second reading this 21 day of June, 2016

Carried

Resolution No. 2016-21-21
Moved by Councillor Roberts
Seconded by Councillor Barr

THAT By-law 2016-40, being a by-law to confirm generally previous actions of the Council of the Township of South Frontenac be given third reading signed and sealed this 21 day of June 2016.

Carried

19. Adjournment

a) Resolution

Resolution No. 2016-21-22
Moved by Councillor Roberts
Seconded by Councillor Barr

THAT the Council meeting of June 21, 2016 be adjourned at 8:28 p.m.

Carried

Ron Vandewal, Mayor

Wayne Orr, Chief Administrative Officer

Staff Report:

Township of South Frontenac

Planning Department

Prepared for Council

Agenda Date: July 5, 2016

Date of Report June 27, 2016

**Subject: Request For the Township to Permit a Special Event
Concert on Property at Part Lot 13, Concession VII,
Storrington District: Veseau**

Summary of Recommendation:

The recommendation is that Council approve a request to authorize an exemption to By-law No. 2015-41 (the Noise By-law) to permit a significant event (an outdoor guitar festival) to take place from July 22 to July 24, 2016 on the above-noted property.

Purpose of the Report:

The purpose of this report is to bring back to the Committee a request to hold a special event open-air concert on the above noted property. The property is approximately 41 acres in size and fronts on Loughborough Lake and Sydenham Road. The report includes a location map.

Background

The owner of the above-noted property has requested to know whether he would be permitted to hold a 'significant event' open-air concert on the land. The event is called "The Canadian Guitar Festival" and it is to be held from July 22 to July 24, 2016.

The property is approximately 41 acres in size and fronts on Loughborough Lake and Sydenham Road. Harper Bay Lane runs through the length of the property to provide access to a number of abutting waterfront lots. The lot is shown highlighted on Attachment #1. It should be noted that this would be the twelfth year that the festival has occurred and each event was successful and was generally well received by the public.

As on previous occasions, the event would take place in a large canvass structure on the property and he will make use of temporary bathroom facilities during the event. The portion of the property furthest away from the lake, which is the venue, is flat and open and is able to facilitate any required parking. Although there are a number of waterfront residential lots in the vicinity of the subject lot, they are screened visually to some degree by mature stands of deciduous trees and vegetation which would also be expected to mitigate noise from the concert.

Analysis

By-law No. 2015-41 is the Township of South Frontenac's by-law to prohibit and regulate noise. The by-law states that no person shall emit, cause or permit the emission of noise resulting from an act. Included in the list of potential noise producing uses is

"the operation of any electronic device or group of devices incorporating one or more loudspeakers, or other electro-mechanical transducers, and

intended for the production or amplification of sound in such a manner as to disturb the peace and comfort of a person at the point of reception.”

The by-law lists exemptions to the prohibition, including community public events authorized by the municipality and types of performances in public parks or buildings authorized by the municipality. The list does not automatically exempt such performances on private land and thus, an exemption from the by-law is sought by the property-owner.

Also, Schedule 1 of the by-law lists prohibitions by time and place. It limits yelling, shouting, hooting, whistling or singing between the hours of 23:00 of one day and 07:00 of the next day. Again, an exemption is requested from this provision of the by-law.

The present use of the waterfront area is for recreational resort camping which, itself, is already associated with a degree of noise and open-air human activity – especially on weekends. The proposed events seem similar in nature to the present use of the land. Council’s authorization is required.

As Committee members are aware, the owner held a concert on the property last year which was entitled “Ambush”. The owner had requested relief from the noise by-law for this concert but Council denied the request. However, the event went ahead on September 4, 2015 and, accordingly the owner was charged with an offence under the Noise By-law. The matter is now before the courts and is scheduled for a pre-trial on October 20, 2016.

This request was brought to the Committee of the Whole on June 28, 2016 where to Committee gave approval in principle to the request.

Recommendation:

It is recommended that Council approve the request to authorize an exemption under sections 3 and 4 of By-law No. 2015-41(the Noise By-law) to permit an outdoor festival concert event to take place on July 22 to July 24, 2016, on property described as Part of Lot 13, Concession VII, Storrington District, municipally known as 3060 Sydenham Road.

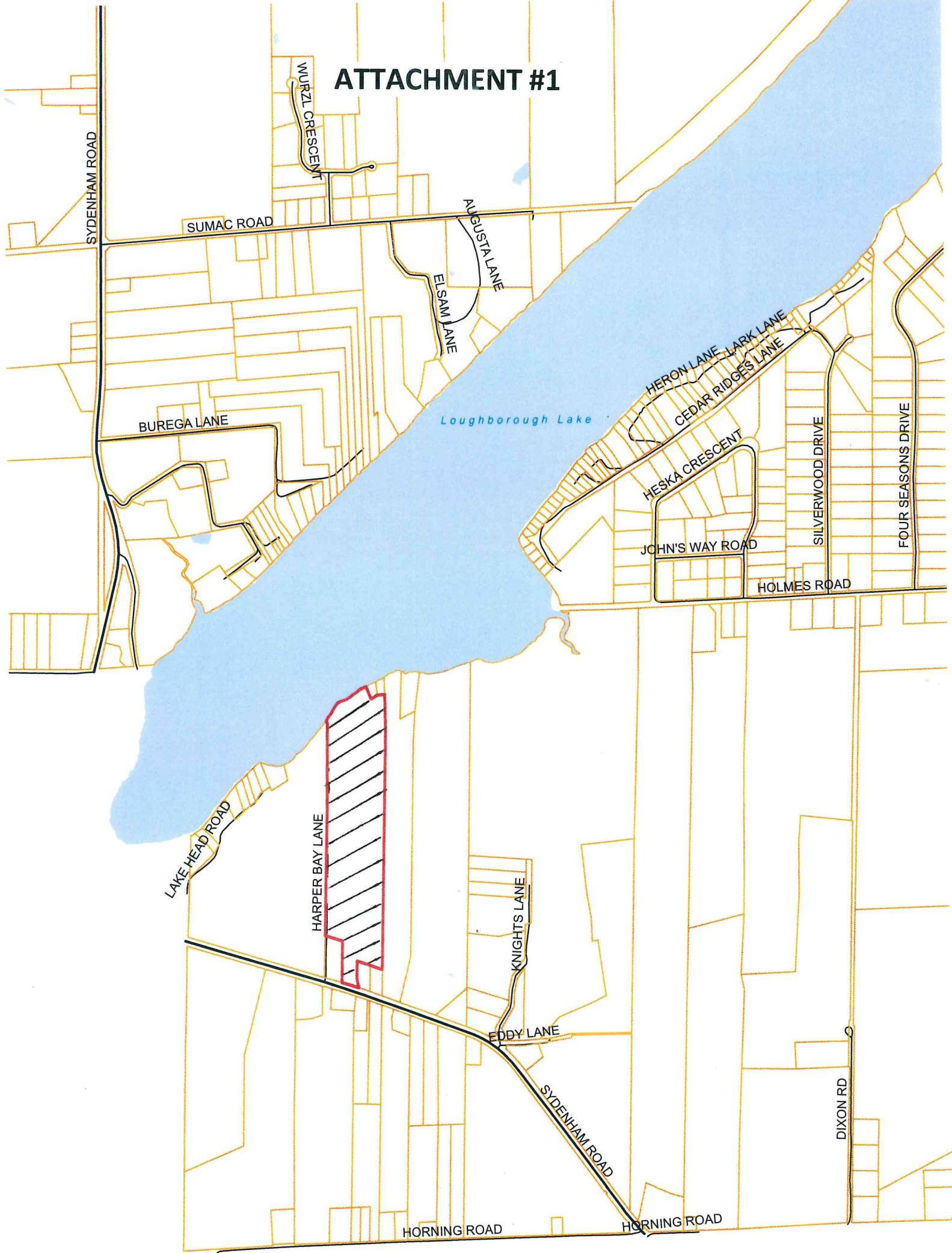
Submitted/Approved by: Lindsay Mills

Prepared by: Lindsay Mills

attachments

VezeauReport9

ATTACHMENT #1



STAFF REPORT:

Township of South Frontenac
Prepared for Council
Agenda Date: July 5, 2016
Date of Report: June 29, 2016

Planning Department

**Subject: Review of Application for Site Plan Agreement in Part
of Lot 2, Concession IV, Loughborough District,
Township of South Frontenac: Silver**

Summary of Recommendation:

The recommendation is that Council pass a by-law to enter into a site plan agreement for a proposed development of a medical clinic on Rutledge Road.

Purpose of the Report:

The purpose of this report is to bring to Council a proposal to develop a commercial medical clinic on Rutledge Road and to advise of the owners' request to enter into a site plan agreement with the Township. The report includes a location attachment, cross section rendering and a site plan by-law.

Background

Approximately four years ago the owners of property at 3085 Rutledge Road rezoned a portion of their property to a Special Rural Commercial (RC-12). Attachment #1 shows the location of the subject land and the area to be developed.

The special RC-12 zone permits the following uses:

- a business and/or professional office,
- accessory uses and buildings to the above uses.

The purpose of the rezoning was to accommodate office-type uses on the property and, specifically, a medical clinic and now a site plan application has been submitted to move forward with development of the property.

Discussion

Attachment #2 is a copy of a site plan showing the proposed building, parking, access aisles and entrance features. As shown as a shaded area, the entrance and parking areas are all to be a paved asphalt surface. The building itself would be a single storey structure 3,444 square feet in size and would contain office units and exam rooms. Attachment #3 is a cross-section rendering of the proposed building.

A stormwater management report was included with the site plan application submission. The report prepared by Forefront Engineering Inc., recommends that drainage from the development be directed southerly to the Millhaven Creek through side yard swales and a new stormwater management facility (SWMF). Major and minor flow paths would be directed to the SWMF and side yard swales and concentrated outlet locations would be enhanced with rip-rap and geotextile. Attachment #2 indicates the stormwater management facility.

The matter was brought to the Committee of the Whole on June 28, 2016 for the Committee's preliminary review. The Committee was favourable to the proposed development and site.

Agency Comments

The Planning Department is satisfied that the Plan meets all requirements of the zoning by-law in terms of use, setbacks, parking access aisle widths and landscaping. The Cataraqui Region Conservation Authority has no objection to the proposal. Public Works has reached an agreement with the owner for contributions to any required upgrades to Rutledge Road to accommodate ingress and egress at the site.

Recommendation

It is recommended that By-law No. 2016-43 attached hereto to authorize the Mayor and Clerk to enter into a site plan agreement with the owners of land described as Part Lot 2, Concession IV, District of Loughborough, **be passed.**

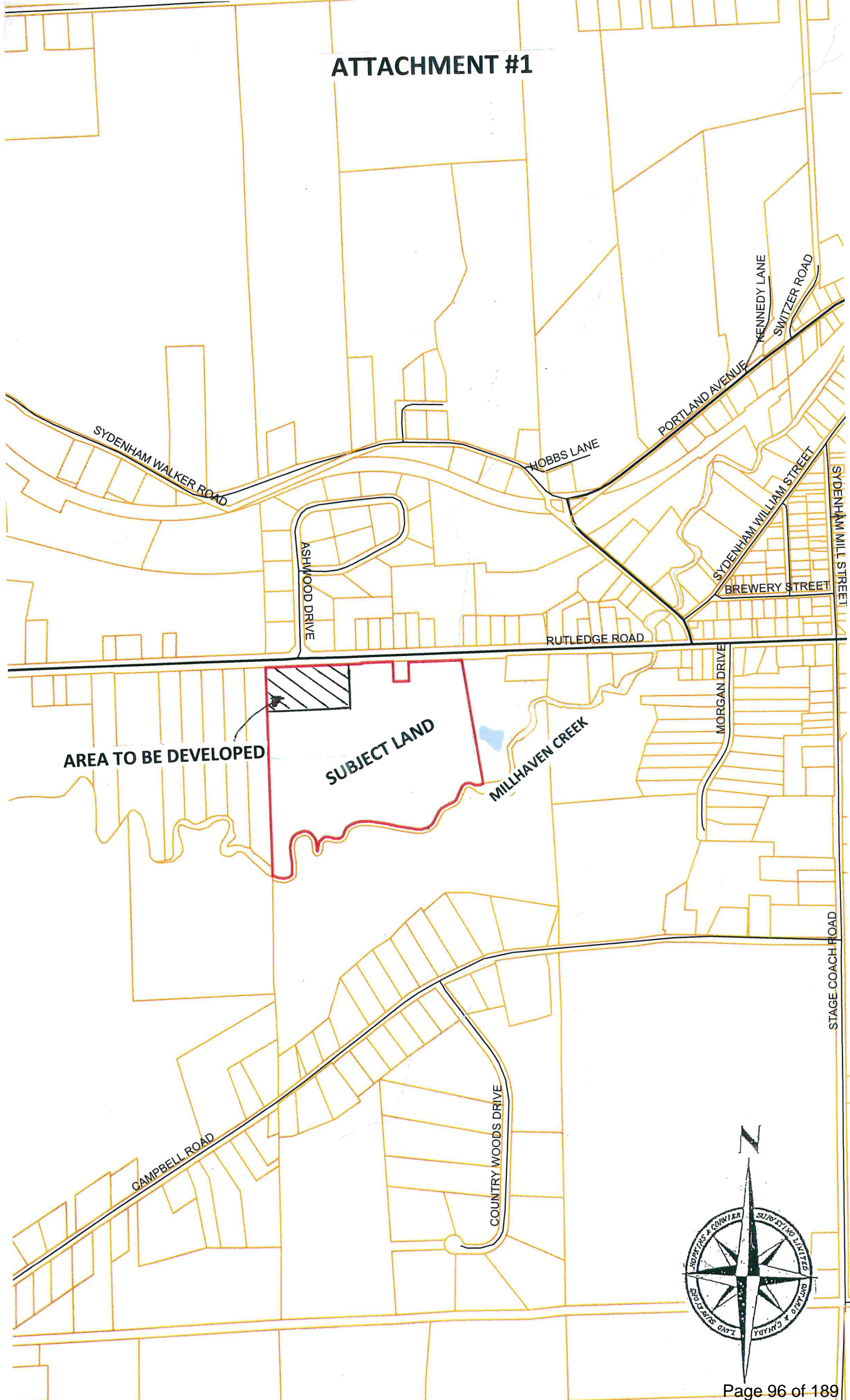
Submitted/Approved by: Lindsay Mills

Prepared by: Lindsay Mills

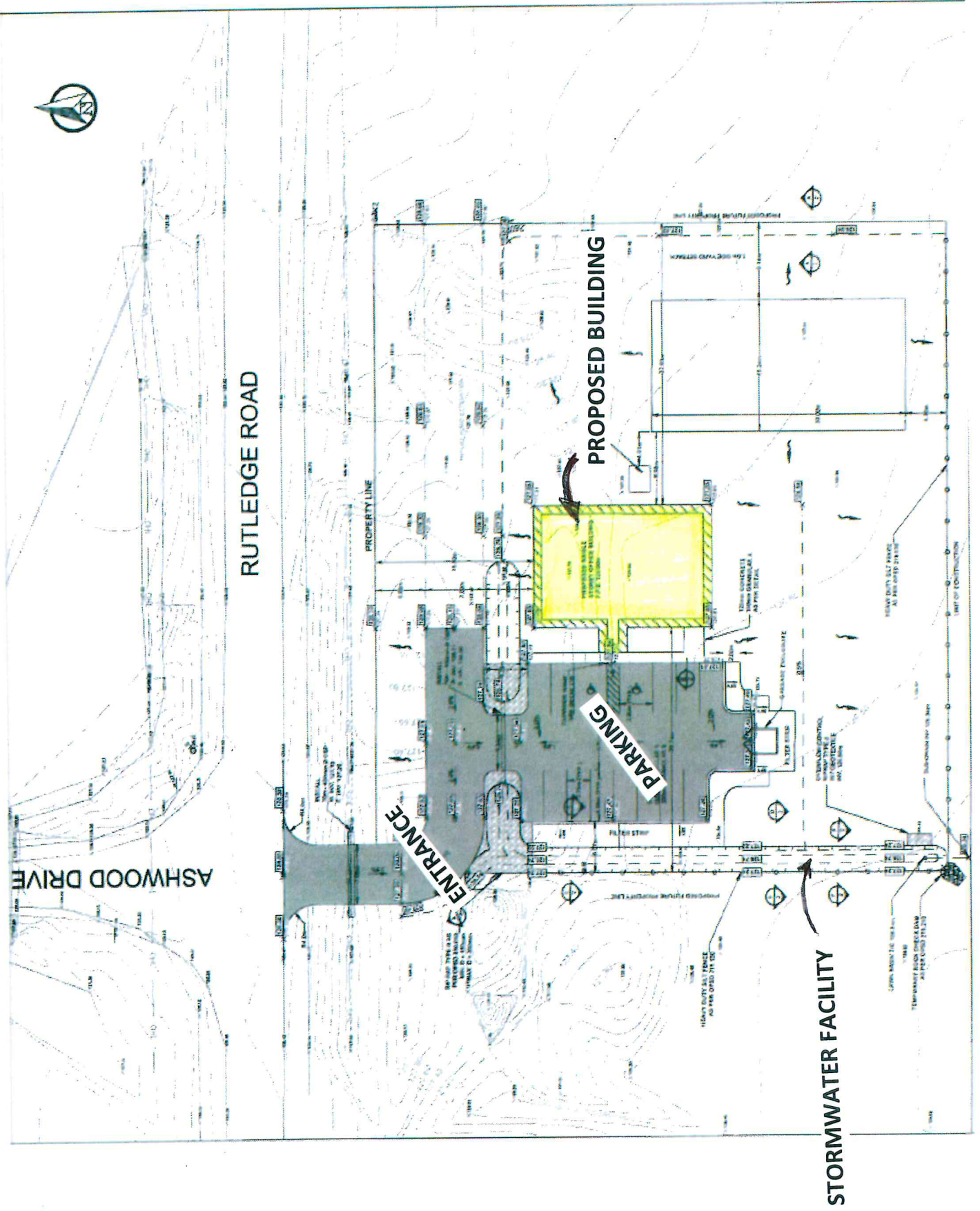
attachments

SilverSitePlanReport2

ATTACHMENT #1

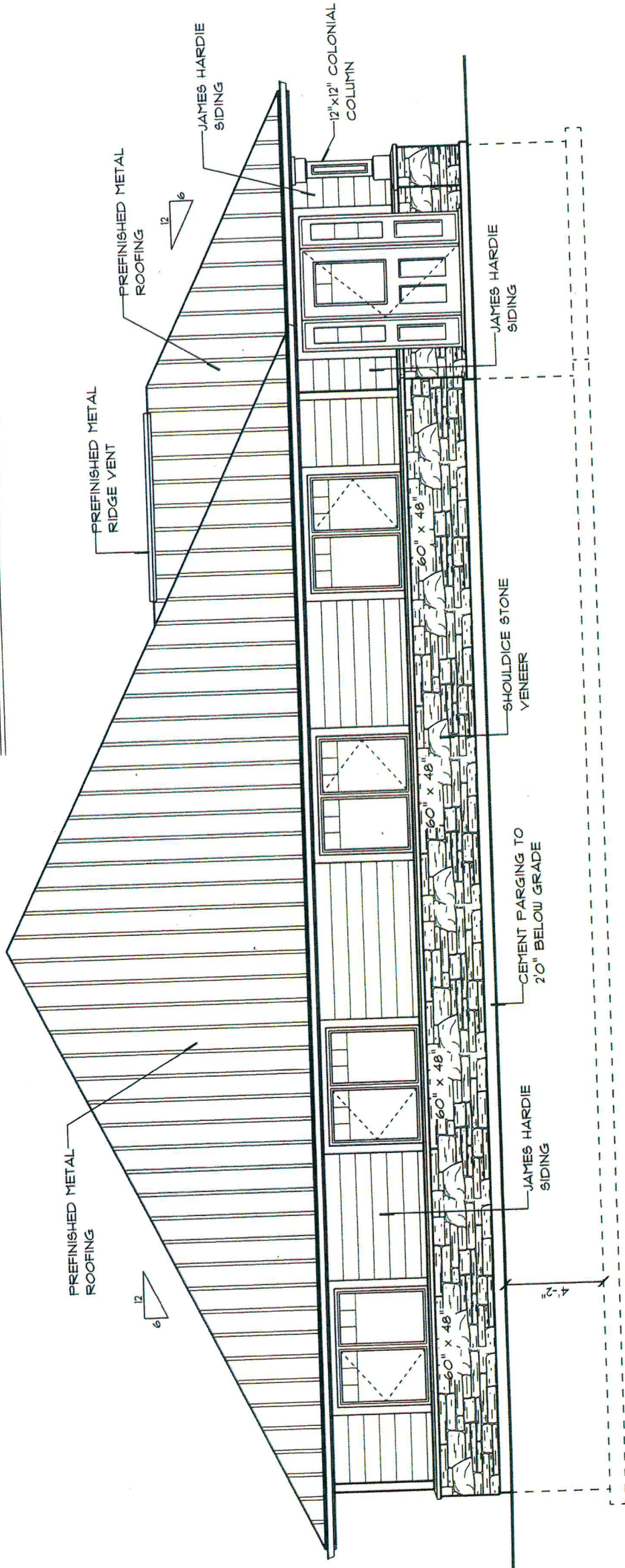


ATTACHMENT #2



ATTACHMENT #3

CROSS SECTION A-A



NORTH ELEVATION



STAFF REPORT CLERKS DEPARTMENT

PREPARED FOR COUNCIL: June 25, 2016

AGENDA DATE: July 5, 2016

SUBJECT:

Notice of Motion – Young – Leland Rd

RECOMMENDATION:

That Council direct staff to proceed with road closing process and confirm that the Young's will only be responsible for their share of the legal costs.

BACKGROUND:

Council's Procedural By-Law 2015-56 establishes the process for Notice of Motion.

At the Council Meeting of June 21, following debate about the passage of the minutes of the June 14 COW meeting, Deputy Mayor Sutherland, served Notice of Motion to clarify that the Young's in addressing an outstanding transfer of an unopened road allowance are only responsible for their legal fees.

A notice of motion requires a seconder at the next regular Council meeting. If seconded, the motion is debated and then voted upon.

Submitted/approved by:
Wayne Orr, CAO

Prepared by:
Wayne Orr, CAO



STAFF REPORT CLERKS DEPARTMENT

PREPARED FOR COUNCIL: June 29, 2016

AGENDA DATE: July 5, 2016

SUBJECT:

Notice of Motion – Hartington Sub Division

RECOMMENDATION:

That Council ask the County to defer any decision on the Hartington Subdivision until such time that the final peer review by Malroz is released publicly and South Frontenac Council has had an opportunity to consider this information.

BACKGROUND:

Council's Procedural By-Law 2015-56 establishes the process for Notice of Motion.

At the Council Meeting of June 28, following closed session with the Township's solicitor on the pending Hartington OMB appeal, Councillor Schjerning, served Notice of Motion to ask the County to defer their decision until the Malroz report is released and Council has had an opportunity to consider it.

A notice of motion requires a seconder at the next regular Council meeting. If seconded, the motion is debated and then voted upon.

Submitted/approved by:
Wayne Orr, CAO

Prepared by:
Wayne Orr, CAO



STAFF REPORT CLERKS DEPARTMENT

PREPARED FOR COUNCIL: June 21, 2016

AGENDA DATE: July 5, 2016

SUBJECT:

Ontario East Regional Agility Competition Noise and Camping Exemptions

RECOMMENDATION:

THAT Council authorize the Recreation Supervisor and CAO to enter into an agreement with the Ontario East Regional Agility Competition organizers;

AND that Council exempt the Ontario East Regional Agility Competition taking place on June 3/4th, 2017 at Centennial Park from the Township's noise bylaw as requested;

AND FURTHER that Council provide a one-time exemption to permit camping in Centennial Park for the sole purpose of use for the competitor's trailers during the Ontario East Regional Agility Competition as requested.

BACKGROUND:

The Ontario East Regional Agility Competition has been hosted on private property Harrowsmith annually since 2012. The organizers are looking for a new location and have approached the Township for the use of Centennial Park. The park is being requested from Friday June 2-4th, 2017

Attached is a letter from the organizers outlining important information on event logistics; attendance figures, camping details, waste management, references, etc.

The organizers are aware that fires and dumping of grey water are prohibited and that camping will only take place in the identified area located in the North West parking area.

Recreation and Public Works staff have met on site with the organizers to discuss the logistics of the event and are satisfied in what is being proposed.

ATTACHMENTS:

Letter from event organizer

Submitted/approved by:
Tim Laprade, Arena & Recreation Supervisor

Hi Tim,

Thanks for taking the time to meet me on site and bringing this to council for me.

For the councils consideration for hosting the Ontario East Regional Championships in 2017 at Centennial Park in Harrowsmith. This is an annual event hosted by different clubs throughout Region.

I have been hosting agility trials and seminars in Harrowsmith for over 10 years. I have been hosting the Ontario EAST Regional championships every year since 2012 without incident. The Ontario EAST Region includes Eastern, Southern and Northern Ontario. Typically this event has had 150 - 225 dogs in attendance. This is an annual event that can be hosted anywhere within the region but I would be very happy to keep applying to host in Harrowsmith.

We have been hosting the event at the Day Farm on Harrowsmith Road, but with them no longer hosting the Grass Drags at the site and the 'track area' no longer being rolled smooth every year, the footing has become rougher every year and is no longer acceptable.

I have lived in Harrowsmith since 1998 and would love to continuing bring this event to my town that I am so very proud of. The increased traffic will benefit local business as well bring more attention to our fabulous community.

The event would be a free event for any spectators who wished to attend and it can be publicized any way the township would like,

The median age for competitors is late 50's, so you are dealing with a more mature group than most sporting events. So the 'party' aspect of the event is really non existent. For campers staying on site we have never allowed camp fires and at dusk everyone is already settled into their beds for the night. Competitors at this event must achieve 350 points for the event to qualify for the Nationals event. Since this is the case it easy a very early night for competitors that have been outside competing all day and they will want to ensure that they and their dogs are well rested for the next day of competing. We have typically only had about 15 – 25 overnight campers at the event.

We have port a potties brought in with daily clean out during the event, a small potable water tanker brought in for use of the competitors, Duffer's food truck has been our only food vendor for the past 4 years and will have the permits required for serving food in the township, and power supply needed is minimal. We do have a generator to use if needed but it would be housed to keep noise to a minimum. We have also used Eliminator Power Packs if needed as well. Trailers

coming in will be dumping their gray water at either the Joyceville Truck Stop or the Flying J in Napanee as they have done in previous years.

Competitors on site that are witnessed to not having picked up after their dog are asked to leave the site without refund and therefore are unable to compete at the National event. We have full clean up stations for accidents that dogs may have on any playing surface immediately so that orders do not linger and grassed areas are not damaged.

Agility ran for many years at the Quarry Soccer dome in Kingston on the indoor turf fields without incident. Krista Swackhammer was the owner of the property and is available if you have any concerns regarding dogs on the fields. Her contact info is Krista.swackhammer@kingston.net and cell is [613-261-6402](tel:613-261-6402).

In 2013 I also used the Memorial center grounds in Kingston if you wanted to contact them to see if they had any concerns.

We are prepared to have site repair items on hand if required for the fields as events run rain or shine. This is something we are willing to work with the township with however they would like to move forward with the possible need of site repair in the event of heavy rain.

Personally I am on the Board of Directors with the Agility Association of Canada, a Masters level agility judge and a competitor.

It is my expectation that competitors will start coming to the site by 7am Saturday and Sunday Mornings preparing for first dog to start competing by 8:15am. On the Friday dogs and owners will be coming in throughout the day starting at 8am. Competitors not staying on site usually are packed up and leave the site by 5pm each day.

If you have any questions, comments or concerns please contact me.

Jennifer Laird
jennifer.lairdaarf@gmail.com
[613 484 2273](tel:6134842273)



STAFF REPORT CLERKS DEPARTMENT

PREPARED FOR COUNCIL: June 27, 2016

AGENDA DATE: July 5, 2016

SUBJECT:

Permission to serve alcohol at the Stantive Technologies Staff BBQ

RECOMMENDATION:

THAT Council authorize the Recreation Supervisor and CAO to enter into an agreement with Stantive Technologies Staff BBQ organizers;

AND that Council give permission for the serving of alcohol as per Section 10 item (c) 'Alcoholic Beverages' of BY-LAW 2002 -57 for the Stantive Technologies Staff BBQ taking place on from Noon- 7 p.m. on August 26th, 2016 at Centennial Park.

BACKGROUND:

Through a South Frontenac resident and staff of Stantive Technologies, a request has been made for the use of the Centennial Park Pavilion and adjacent Park area to hold their annual Staff Appreciation BBQ. The park is being requested on Friday August 26th from noon-7 p.m. 2016. The private event attendance is expected to be approximately 80 and the organizers are planning to hire Western Cut Productions to provide Catering of food and beverages. The organizers are aware that along with the items listed below as per the Township's Booking Form and User Agreement that permission for the 'sale and serving of alcoholic beverages' must be granted as per Section 10 item (c) 'Alcoholic Beverages' of BY-LAW 2002 -57

'District Recreation Committees may recommend to Council the sale and serving of alcoholic beverages for certain events sponsored by private individuals who are Township residents, District teams, associations, or non-profit organizations where a public benefit is deemed to result.'

Due to the timing of this event and the need for the organizers to confirm and book a caterer, Staff are requesting Councils approval as per the recommendation above and will also inform the Portland Recreation Committee of the event.

User Agreement Terms and Condition

- Organizer to complete and sign copy of the Booking Form and User Agreement
- Organizer to obtain a L.C.B.O. Special Occasion Permit.
- Organizer to provide confirmation that the user has obtained a "Special Event" certificate from the K.F.L.A. Health Unit is required.
- Organizer to provide Third party liability and property damage insurance policy coverage shall be required showing the Township of South Frontenac as third party thereto.
- Organizer to provide payment for use of space including a \$150 Clean-up deposit

ATTACHMENTS:

- Booking Form and User Agreement

Submitted/approved by:

Tim Laprade, Arena & Recreation Supervisor



Township of South Frontenac Outdoor Recreation Facility Booking Request and User Agreement

Booking Details	
Name of Activity or Event	
Name of Organization or Individual	
Contact Information	
Address	
Phone number	Email
Dates & Times Requested	
Additional setup/amenities required	

Location of activity and type of amenity (Select all that are required)		
Centennial Park Upper Ball Diamond <input type="checkbox"/> Lower Ball Diamond <input type="checkbox"/> Upper Soccer Field <input type="checkbox"/> Lower Soccer Field <input type="checkbox"/> Pavilion <input type="checkbox"/> Park <input type="checkbox"/> Court <input type="checkbox"/>	Memorial Park (The Point) Large Ball Diamond <input type="checkbox"/> Small Ball Diamond <input type="checkbox"/> Soccer/Football Field <input type="checkbox"/> Pavilion <input type="checkbox"/> Park <input type="checkbox"/>	Dave Bowes Memorial/Keeley West Ball Diamond <input type="checkbox"/> East Ball Diamond <input type="checkbox"/> Soccer Field <input type="checkbox"/>
Gilmour Point Pavilion <input type="checkbox"/>	Gerald Ball Memorial Park Soccer field <input type="checkbox"/> Court <input type="checkbox"/>	Glendower Park Small Ball Diamond <input type="checkbox"/> Park <input type="checkbox"/>
Wilmer Ball Diamond <input type="checkbox"/>	Battersea Ball Diamond <input type="checkbox"/>	Inverary Ball Diamond <input type="checkbox"/>
Latimer Park (Heska) <input type="checkbox"/>	Davidson Beach <input type="checkbox"/>	Harris Park <input type="checkbox"/>
McMullen/Verona Park Large Soccer Field <input type="checkbox"/> Small Soccer Field <input type="checkbox"/> Court <input type="checkbox"/>	Princess Anne Park (Hartington) Soccer Field <input type="checkbox"/>	Frontenac Arena Upper Soccer Field <input type="checkbox"/> Lower Soccer Field <input type="checkbox"/>

Booking Fees	Resident	Non-Resident
Minor Sport Groups		
Seasonal Participant User Fee (onetime fee)	\$8/per participant	\$8/per participant
Tournament Fees Per Diamond/Field		
Per Day (7am-5pm)	75.00	90.00
Per Night (5pm-11pm)	75.00	90.00
Adult Sport Groups or Events		
Seasonal Fee (maximum 12 day/nights)	200.00	300.00
Additional per over maximum	15.00	30.00
Per Use (Diamond and/or Soccer Field and/or Park)		
Per Day (7am-5pm)	50.00	75.00
Per Night (5pm-11pm)	50.00	75.00
Additional Fees		
Exclusive Use of Gazebo	50.00	75.00
Lights Per Diamond	20.00	25.00
Key Deposit	50.00	75.00
Clean-up Deposits (tournaments and/or events)	150.00	150.00
HST (13%)		

I/We have read and fully understand the terms and conditions listed below and will abide by the said terms and conditions. If there is any contravention of these conditions, this booking shall become null and void.

Applicant Name

Applicant Signature

Date

Terms and Conditions

1. Cheques must be made payable to the “Township of South Frontenac”.
2. Fees are payable two weeks in advance of the date of the event and bookings are not considered complete until payment is received in full. Key and Clean-up deposits will be deposited by the Treasury Office and refunded following the event upon satisfaction of the terms on the reverse.
3. Only non-corrosive substances (talc) are approved for lining out facilities.
4. The facility is to be used only on the dates and hours indicated and use shall not exceed 11:00 p.m. except Sunday when it will not exceed 9:00 p.m.
5. All areas, building, equipment and other property of the Township shall be left in clean and undamaged conditions in its proper storage place.
6. Fires are not permitted unless, written permission is granted by the South Frontenac Fire Department and the Recreation Coordinator.
7. Games of chance are not permitted without a permit issued by the Municipal Office.
8. No person shall sell, advertise, announce, or display goods or merchandise or carry on any commercial activity, unless the Township of South Frontenac grants approval.
9. Consumption of alcoholic beverages is prohibited, unless under the authority of the L.C.B.O. Special Occasion Permit.
10. If the Recreation Committee leases the canteen, the concessionaire shall have the sole right to sell food, materials and the like, in the Park area.
11. ‘If’ food is being sold/served to the Public, confirmation that the user has obtained a “Special Event” certificate from the K.F.L.A. Health Unit is required.
12. The user will indemnify and save harmless the Township of South Frontenac itself, and all of its officers and agents from and against all claims, demands, losses, costs, damages, actions, suits or other proceeding, by whomever made, sustained, brought or prosecuted in any many based upon, occasioned by, or attributable to any injury or damage arising or resulting from any act or omissions of our organization, its servants in using the said premises.
13. Third party liability and property damage insurance policy coverage shall be required showing the Township of South Frontenac as third party thereto.
14. All fees and deposits will be paid to the Municipal Office. All fees are non-refundable unless the approved by the Arena & Recreation Supervisor.
15. Cancellation may occur after persistent inclement weather, which would result in damage to playing surfaces.
16. Parking is allowed in designated areas only.
17. Sport Groups shall supply their own talc and spreader. Bases and nets will not be supplied for tournaments by the municipality.
18. It is the responsibility of the user to promptly advise the Municipal Office of any lighting problems.
19. Any contravention of these terms will nullify this booking immediately.



STAFF REPORT PUBLIC WORKS DEPARTMENT

PREPARED FOR COUNCIL: June 29, 2016

AGENDA DATE: July 5, 2016

SUBJECT:

Purchase of Automated Vehicle Locating software (AVL) from Tyroute Communications (Telus)

RECOMMENDATION:

THAT Council approve the purchase of AVL from Tyroute Communications for 47 vehicles initially.

AND THAT the 2016 cost of \$40.00 per unit per month, exclusive of HST be funded from the approved capital budget.

BACKGROUND:

AVL Systems is one of the newest tools utilized by many Municipalities and other government agencies for locating and monitoring of fleet. The data gathered from the AVL system provides assistance for customer complaints in terms of vehicle operation speed, garbage pick-up, adherence to minimum maintenance standards for winter and non-winter operations, and vehicle maintenance programs. It is because of this that an amount of \$100,000 has been introduced in the 2016 Capital budget for Public Works and Building Department fleet.

Following meetings with the County of Lennox and Addington and associated lower tier Municipalities, staff were prepared to go with Champion Industrial Equipment for their AVL Solution. However, in conversations with staff from Central Frontenac another solution, Fleet Complete by Tyroute Telus, was brought to our attention. Central Frontenac Township elected to go with Tyroute Communications and their Fleet Complete solution as this solution provided the same functionality without the cost for hardware and installation.

Lennox and Addington advertised an RFP for AVL System and received responses from two vendors. We have taken the opportunity to review Fleet complete against Skyhawk, the selected vendor Lennox and Addington contracted. It is the belief of staff that Fleet complete will provide the core functionality without the cost to purchase, install, and maintain the hardware. These savings amount to approximately \$97,000 as quoted from Skyhawk for our AVL system above the monthly service fee of \$40.00 per month per unit that is common with both solutions. Also, both solutions require the Municipality to sign for a 3 Year term. While there is no residual value of the Skyhawk Hardware after purchasing it and only a 1 year warranty on parts, the Fleet Complete is similar to a cellular phone contract where you do not pay for the hardware and the warranty is good for the length of the term. Renewal of the term allows for updated hardware to be installed, which again is good for the length of the term.

In addition Fleet Complete is currently capable of providing information on whether the plow is up or down, and vehicle Electronic Control Module data in terms of required maintenance, speed, odometer, fuel usage, etc. as Skyhawk is.



STAFF REPORT PUBLIC WORKS DEPARTMENT

Fleet Complete has also committed to provide the sander application rates before the winter season of 2017/18.

The following vehicles are proposed to have AVL installed:

- 9 – PW Half Ton trucks
- 6 – PW Three Quarter Ton trucks
- 2 – PW 3 Ton Dump trucks
- 16 – PW Tandem Dump Trucks
- 1 – PW Tri-Axle Dump Truck
- 3 – Building Inspection Half Ton trucks
- 1 – Fire and Rescue Half Ton truck
- 7 – Arterial Road Plowing Contractor Trucks
- 1 – Garbage Truck (Internal)
- 1 – Mechanic Vehicle

FINANCIAL/STAFFING IMPLICATIONS:

An Amount of \$100,000.00 was approved in the 2016 Capital Budget for the purchase of new AVL System for all Public Works and Building Department vehicles. Based on the pricing provided by Tyroute Communications for Fleet Complete, it is anticipated our 2016 Capital cost would be \$9,400, exclusive of HST. This cost represents \$40.00/month per unit based on an anticipated go live date of August 2, 2016.

Future service costs to maintain the system will be funded through the respective department's annual operating budgets.

Submitted/approved by:

Mark Segsworth, P. Eng.
Public Works Manager

Prepared By:

David Holliday, CET
Area Supervisor



STAFF REPORT TREASURY DEPARTMENT

Prepared for Council: June 28, 2016

Agenda Date: July 5, 2016

SUBJECT:

2017 Budget Cycle

RECOMMENDATION:

That Council adopt the 2017 budget cycle as presented.

BACKGROUND:

Building on the success of the 2012 to 2016 budget process and based on the direction from the Corporate Services Committee, the following schedule is proposed for the 2017 budget.

Of note are revisions to a few steps. Previously, the budget document was tabled the Tuesday prior to the Saturday full day operating budget review. For 2017, the budget document is scheduled to be tabled on November 1st, which provides an additional week for Council's review as well as allowing time for comments from public on the draft budget.

In 2016 public delegations were invited on budget direction; this year input is being sought on the draft budget itself. For 2017, advertising will be placed in the banner ad 4weeks in advance inviting the public to appear as delegates at the November 8, Committee of the Whole meeting.

Meeting Date	Activity
Jul 5	Budget Schedule
Sept 20	Council set budget Direction / Long Term Financial Plan Update
Oct 11	Non PW Capital Presentation
Oct 25	PW Capital Presentation
Nov 1	Table Budget Document
Nov 8	Delegations on Budget Document
Nov 12	Operating Budget (SATURDAY)
Nov 22	Budget revisions
Dec 6	Budget Approval?
Dec 13	Budget Debate – if needed
Dec 20	Budget Approval – if needed

Submitted/approved by:
Louise Fragnito, Treasurer

Prepared by:
Louise Fragnito, Treasurer



STAFF REPORT CLERKS DEPARTMENT

PREPARED FOR COUNCIL: June 25, 2016

AGENDA DATE: July 5, 2016

SUBJECT:

Verona Medical Lease

RECOMMENDATION:

THAT Council authorize the CAO to enter into a new lease with the Verona Medical Clinic as operated by Dr. S. Gibbens.

BACKGROUND:

Council approved By-law 2010-80 to authorize the purchase of the Verona Medical Clinic in October 2010. The transaction closed on October 31, 2011. The intent of the purchase was to create a turnkey operation that would support physician recruitment without impacting the operating costs of the Township. Dr. Dempsey will maintain the lease until October 31, 2016, despite her retirement effective June 30, 2016.

The Verona and District Health Services Committee, a committee of Council, passed the following resolution on March 21

“That the Verona and District Health Services Committee confirms the success of the present agreement in attracting and retaining doctors for the Verona Clinic and recommends that the Township of South Frontenac negotiate a new lease with the doctors to come into effect when the present lease expires on Oct. 31, 2016.”

The lease is operated on a cost recovery basis and includes an allowance to be put aside for capital projects. It has no net cost to the tax supported budget.

Staff recommend establishing a new lease on the same basis, with the Verona Medical Clinic as operated by Dr. S. Gibbens. The term would be for one year with the right to renew on a yearly basis for four more years. Each year there would be a reconciliation of the operating costs.

Submitted by:

Wayne Orr, CAO



STAFF REPORT CLERKS DEPARTMENT

PREPARED FOR COUNCIL: June 29, 2016

AGENDA DATE: July 5, 2016

SUBJECT:

Seniors Housing

RECOMMENDATION:

THAT Council supports moving forward with the development of a business case for a market rent seniors housing project on municipal water in Sydenham;

AND THAT that Council requests the County to fund the development of this business case from the funds ear marked for a senior's project;

AND THAT the business case explore and reference current funding incentives and address any unique requirements for a Public Private Partnership model

AND THAT upon completion of the business case a Request for Expressions of Interest be issued to publicly solicit interested parties.

BACKGROUND:

The South Frontenac Seniors Housing Task Force has met several times and heard from the consultants hired by the County on the development of the business case for the Marysville project as well as representatives from the City of Kingston who manage social housing in the Frontenacs.

Based on local experience the Committee understands that the need is not for affordable housing (as illustrated by the lack of a significant waiting list at Loughborough housing) but rather to address the demands for market driven accommodation.

Following up on the direction of the committee, the CAO has been briefed on the interest of two different stakeholders.

The following is a resolution passed by the committee on June 29.

Whereas the Seniors Housing Task Force requested that the Chief Administrative Officer of the Township of South Frontenac explore options with the Southern Frontenac Community Services, and private developers to determine if there is an interest in pursuing the development of a Business Plan for Seniors Housing in South Frontenac.

And Whereas the Chief Administrative Officer of the Township of South Frontenac has advised that there is an interest from both parties in looking at some form of a community partnership to develop seniors housing in South Frontenac:

Be It Resolved That the Seniors Housing Task Force request that the Chief Administrative Officer of the Township of South Frontenac update the Council of the Township of South Frontenac on the progress of this committee and provide direction on the type of Seniors Housing needed in South Frontenac

Submitted/approved by:
Wayne Orr, CAO

Prepared by:
Wayne Orr, CAO

Loughborough District Parks and Recreation Canada Day Sub-Committee

June 9, 2016 – 7 p.m.

Attendance: Chair Mike Howe, Nick Adam, Carol Sparling, Gary Hay, Janet Knights, Helen Parfitt, Sandra Sigsworth, Joanne Barr, Darlene LaBarre

Regrets: John Trousdale, Pam Deline, Bill Arthur, Kerry Arthur, Evelyn Batson

Report from the Committee

Fireworks Report

- No additional news to report at this time.

Flyers/Advertisements/Website

- The posters have now been updated by SHS students. They will receive a stipend for their time and effort.
- More pictures are needed for the website. Please forward any contributions to Joanne Barr.
- Large signs will be posted in the community this week.

Volunteers

- The SHS students have submitted their list for t-shirt sizes. A list for the adults is still required.
- Joanne Barr is holding a short workshop to help teach SHS volunteers how to face paint. She emailed Evelyn Batson to set up a date. Nick Adam will follow up with Evelyn to set up a time. Face painters will need to be at The Point to set up by 11 a.m. The shifts will be 11-1 and 3-5 with a break in between.
- Volunteers for the children's games are to be at The Point by 12 or 12:30 at the latest.

Fundraising/Finances

- \$3,000 has been raised in the community so far.

Parade

- The parade is fully organized. The signage will be posted this week advising the public about the road closures.

Activities

- Carol Sparling will speak with the person that set up the cow patty bingo last year. Norm Irwin has a baseball liner that can be borrowed. 5 ft X 4 snow fencing and stakes are needed to set up the area.

Food

- The Sydenham Legion Ladies Auxiliary will hold a bake sale at Canada Day.
- Chair Mike Howe will speak with Dan Bell to inquire as to whether they charge their vendor to sell items at their Canada Day event.
- Joanne Barr will provide Chair Mike Howe with the names and phone numbers of last year's vendors so that he can contact them about returning this year.

Music

- Nick Adam will contact LPS to ask if there is any interest in performing at the event.
- SHS has 3 performers confirmed.
- Ava Ludlow is interested in singing the national anthem this year.
- The Canoe Club will lend the committee a large chalkboard to list the musical acts so that the public will know who is playing and when.

Miscellaneous

- Chair Mike Howe is to contact Mark Segsworth one week prior to Canada Day to confirm the amount of barrier needed (approximately 10).

Next Meeting: Thursday, June 23, 2016 @ 7 p.m.

Adjournment: 8:00 p.m.

Recording Secretary: Sarah Vandewal

**SOUTH FRONTENAC
PORTLAND REC COMMITTEE**
Meeting Minutes –May 30th, 2016

Attendees: Dan Bell, Pam Morey, Cheryl Preston, Brenda Adams, Mary Jo Dowker, Pickle ball delegation: Don Crone, David Bussier and Chuck MacDonald

Regrets: Christine Leblanc

- 1) The minutes of March's meeting were reviewed. Motion to accept by Mary Jo Dowker and seconded by Brenda Adams.
- 2) The Agenda for May 30th, 2016 meeting was reviewed. Motion to accept by Cheryl Preston and seconded by Brenda Adams.
- 3) There was discussion on the business arising from the minutes:

Business Arising from Minutes:

- A Central recreation update was given and the recreation survey was mentioned.
- Call for Canada Day a volunteer was mentioned by Pam Morey.
- Courts at Centennial Park have been repaired and sprayed. The Ice Stock group and Pickle ball group will make arrangements to put lines for their sports on the multi sports pad.
- Discussion on Skate board Park will have to wait until Council's decision regarding the recommendation made by Central Recreation is to have a feasibility study is decided.

New Business:

- A delegation from the Pickle ball group that play at the multi sports pad at Centennial Park in Harrowsmith was in attendance. They informed us of their growing sport that is encouraged and adaptable for people of all ages. They presently play at the Centennial Park location 5 times a week. The sports pad surface has been sprayed and all cracks sealed. This Pickle ball group has painted on lines for several courts. Moving forward the Pickle ball group would like to see the Centennial park multi sports pad become a permanent pad dedicated pickle ball. They have made a suggestion that the Portland Recreation Committee make a recommendation to the Central Recreation Committee to make a recommendation to Council that they consider that the multi sports pad become a dedicated pickle ball pad with permanent nets and courts for this sport. In order for this multi sports pad to become dedicated to pickle ball the surface would have to be redone and new permanent nets installed at a cost estimated by their group of \$15,000.00. Creating a totally new pickle ball facility was also discussed. It was mentioned that a new facility was recently built in Bath at a cost of \$90,000.00.
- One of our Portland Recreation members, Brenda Adams, mentioned that she will be moving and no longer be able to be a member of our committee.

Meeting was adjourned at 8:13.

Our next will be held at the Princess Anne building in Hartington at 7:00, Monday, June 27th, 2016.

**TOWNSHIP OF SOUTH FRONTENAC
BY-LAW NUMBER 2016-41**

BEING A BY-LAW TO AMEND BY-LAW NUMBER 2003-75, AS AMENDED, TO REZONE LANDS FROM LIMITED SERVICE RESIDENTIAL-WATERFRONT ZONE (RLSW) TO SPECIAL LIMITED SERVICE RESIDENTIAL-WATERFRONT ZONE (RLSW-112 AND SPECIAL LIMITED SERVICE RESIDENTIAL-WATERFRONT ZONE (RLSW-113); PART LOT 11, CONCESSION I, DISTRICT OF STORRINGTON: TRIPP

WHEREAS, the Municipal Council of the Township of South Frontenac deems it expedient to amend By-law Number 2003-75 as amended, as it relates to a parcel of land located in Part of Lot 11, Concession I, in the District of Storrington,

NOW THEREFORE THE CORPORATION OF THE TOWNSHIP OF SOUTH FRONTENAC BY ITS COUNCIL, HEREBY ENACTS AS FOLLOWS:

1. **THAT** Schedule 'C' to Zoning By-law Number 2003-75 as amended, is hereby further amended by changing the zoning from Limited Service Residential-Waterfront (RLSW) to Special Limited Service Residential-Waterfront (RLSW-112) and Special Limited Service Residential-Waterfront Zone (RLSW-113) for those lands shown on the attached map designated as Schedule "1".

2. **THAT** Zoning By-law Number 2003-75 as amended is hereby further amended by adding a new section RLSW-112 (Part Lot 11, Concession I, Storrington District) immediately after section RLSW-111 (Part Lot 6, Concession V, Bedford District-Campbell), to read as follows:

RLSW-112 (Part Lot 11, Concession I, Storrington District – Tripp)

Notwithstanding the provisions of section 10.3.1 or any other provision of this By-law to the contrary, on the lands zoned Special Limited Service Residential-Waterfront (RLSW-112), the following provisions shall apply:

- Lot Area (Minimum).....8,000 metres² (2 ac.)

All other provisions of this by-law shall apply.

3. **THAT** Zoning By-law Number 2003-75 as amended is hereby further amended by adding a new section RLSW-113 (Part Lot 11, Concession I, Storrington District) immediately after section RLSW-112 (Part Lot 11, Concession I, Storrington District-Tripp), to read as follows:

RLSW-113 (Part Lot 11, Concession I, Storrington District – Tripp)

Notwithstanding the provisions of section 10.3.1 or any other provision of this By-law to the contrary, on the lands zoned Special Limited Service Residential-Waterfront (RLSW-113), the following provisions shall apply:

- Lot Area (Minimum)..... 4,000 metres² (1 ac.)
- Setback from highwater mark or floodline of a body of water for any new structure (Minimum).....36 metres (118 ft.)
- Gross floor area for any new principal building (Maximum)..... 74 metres² (800 ft.²)
- Footprint for any new principal building (Maximum)..... 79 metres² (850 ft.²)
- No living space shall be added below grade

All other provisions of this by-law shall apply.

4. **THIS BY-LAW** shall come into force in accordance with section 34 of the Planning Act, 1990, either on the date of passage or as otherwise provided by section 34.

Dated at the Township of South Frontenac this fifth day of July, 2016.

Read a first and second time this fifth day of July, 2016.

Read a third time and finally passed this fifth day of July, 2016.

**THE CORPORATION OF THE
TOWNSHIP OF SOUTH FRONTENAC**

Ron Vandewal, Mayor

Wayne Orr, Clerk-Administrator

TOWNSHIP OF SOUTH FRONTENAC (STORRINGTON DISTRICT)

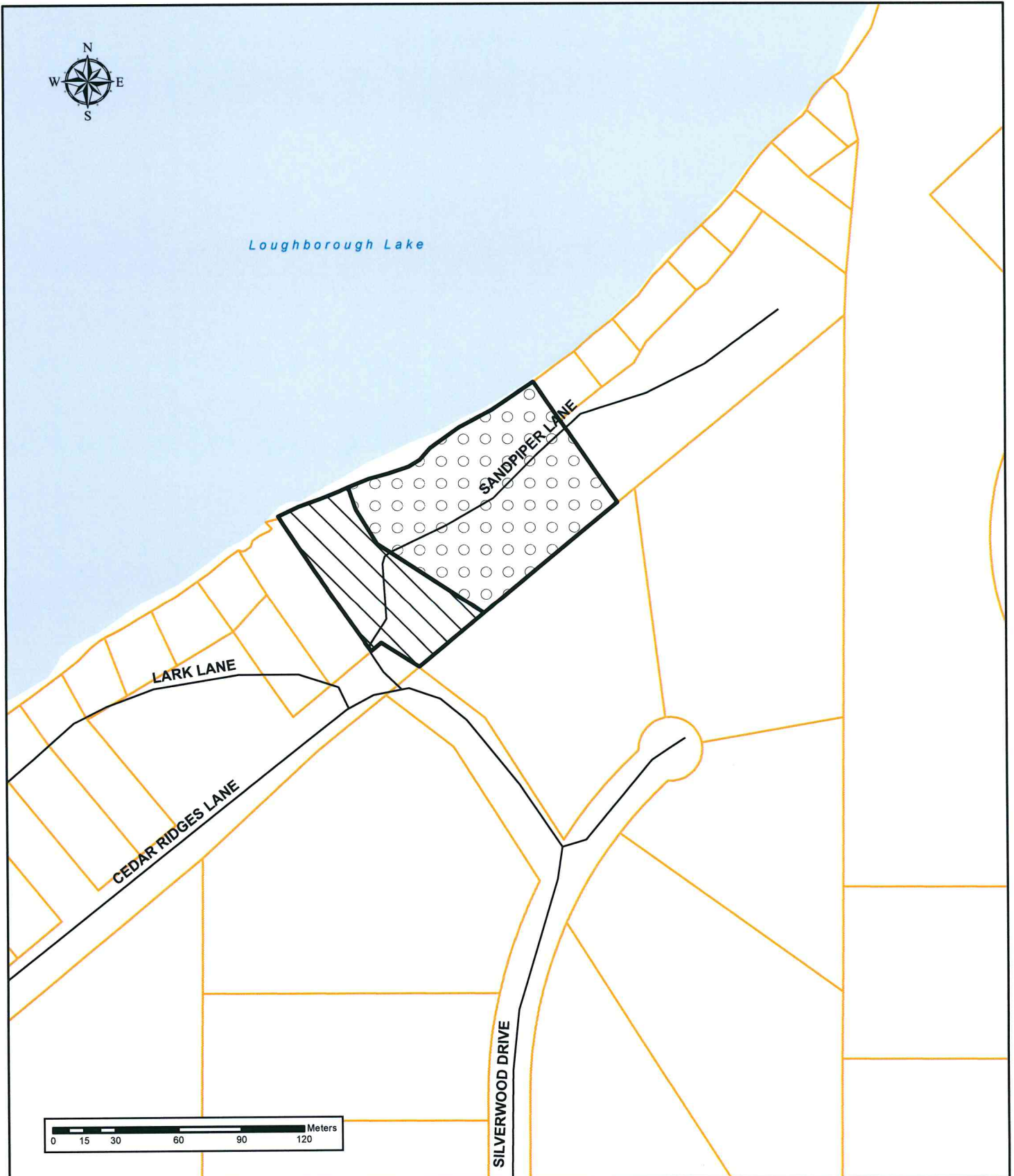
SCHEDULE '1'
BY-LAW NO. 2016-41



AREA REZONED FROM 'RLSW' TO 'RLSW-112'



AREA REZONED FROM 'RLSW' TO 'RLSW-113'



**THIS SCHEDULE "1" TO BY-LAW NO. 2016-41
PASSED THIS 5TH DAY OF JUNE 2016**

MAYOR _____

CLERK _____

**TOWNSHIP OF SOUTH FRONTENAC
BY-LAW NUMBER 2016-42**

BEING A BY-LAW TO AMEND BY-LAW NUMBER 2003-75, AS AMENDED, TO REZONE LANDS FROM LIMITED SERVICE RESIDENTIAL-WATERFRONT ZONE (RLSW) TO SPECIAL LIMITED SERVICE RESIDENTIAL-WATERFRONT ZONE (RLSW-114); PART LOT 20, CONCESSION IX, DISTRICT OF STORRINGTON: STRICELJ

WHEREAS, the Municipal Council of the Township of South Frontenac deems it expedient to amend By-law Number 2003-75 as amended, as it relates to a parcel of land located in Part of Lot 11, Concession I, in the District of Storrington,

NOW THEREFORE THE CORPORATION OF THE TOWNSHIP OF SOUTH FRONTENAC BY ITS COUNCIL, HEREBY ENACTS AS FOLLOWS:

1. **THAT** Schedule 'C' to Zoning By-law Number 2003-75 as amended, is hereby further amended by changing the zoning from Limited Service Residential-Waterfront (RLSW) to Special Limited Service Residential-Waterfront (RLSW-114) for those lands shown on the attached map designated as Schedule "1".
2. **THAT** Zoning By-law Number 2003-75 as amended is hereby further amended by adding a new section RLSW-114 (Part Lot 20, Concession IX, Storrington District) immediately after section RLSW-113 (Part Lot 11, Concession I, Storrington District-Tripp), to read as follows:

RLSW-114 (Part Lot 20, Concession IX, Storrington District – Tripp)

Notwithstanding the provisions of section 10.3.1 or any other provision of this By-law to the contrary, on the lands zoned Special Limited Service Residential-Waterfront (RLSW-114), the following provisions shall apply:

- Setback from highwater mark or floodline of a body of water for any new structure (Minimum).....6 metres (20 ft.)
- Setback from top-of-bank (Minimum)..... 1 metre (3 ft.)

All other provisions of this by-law shall apply.

3. **THIS BY-LAW** shall come into force in accordance with section 34 of the Planning Act, 1990, either on the date of passage or as otherwise provided by section 34.

Dated at the Township of South Frontenac this fifth day of July, 2016.

Read a first and second time this fifth day of July, 2016.

Read a third time and finally passed this fifth day of July, 2016.

**THE CORPORATION OF THE
TOWNSHIP OF SOUTH FRONTENAC**

Ron Vandewal, Mayor

Wayne Orr, Clerk-Administrator

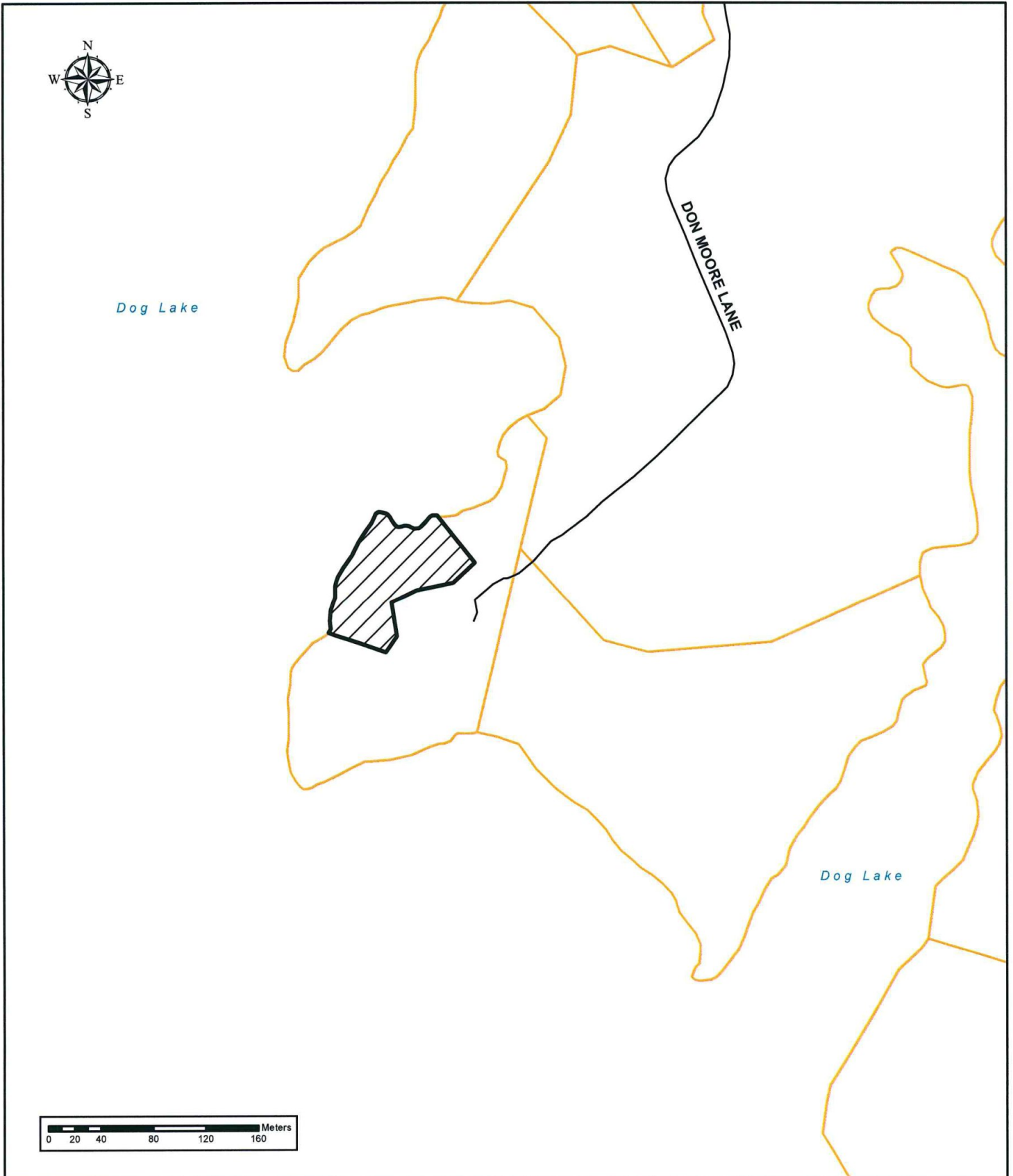
TOWNSHIP OF SOUTH FRONTENAC



**SCHEDULE '1'
BY-LAW NO. 2016-42**



AREA REZONED FROM 'RLSW' TO 'RLSW-114'



**THIS SCHEDULE "1" TO BY-LAW NO. 2016-42
PASSED THIS 5TH DAY OF JUNE 2016**

MAYOR _____

CLERK _____

TOWNSHIP OF SOUTH FRONTENAC

BY-LAW NUMBER 2016-43

BEING A BY-LAW TO AUTHORIZE THE MAYOR AND THE CLERK TO EXECUTE A SITE PLAN AGREEMENT BETWEEN THE CORPORATION OF THE TOWNSHIP OF SOUTH FRONTENAC AND DARRYL SILVER AND SHIRLEY SILVER.

WHEREAS a Site Plan Agreement has been prepared to the satisfaction of the Township of South Frontenac and the proponent;

AND WHEREAS the Owners have signed the site plan agreement;

NOW THEREFORE THE CORPORATION OF THE TOWNSHIP OF SOUTH FRONTENAC BY ITS COUNCIL, HEREBY ENACTS AS FOLLOWS:

1. **THAT** the Mayor and the Clerk are hereby authorized to execute a Site Plan Agreement between the Corporation of the Township of South Frontenac and Darryl Silver and Shirley Silver, a copy of which is attached hereto forming part of this by-law.
2. **THAT** this By-law and Agreement shall be registered on title of the properties described as Part Lot 2, Concession IV, Loughborough District, Township of South Frontenac.
3. **THIS BY-LAW** shall come into force and effect in accordance with section 41 of the Planning Act 1990, either upon the date of passage or as otherwise provided by the said section 41.

Dated at the Township of South Frontenac this fifth day of July, 2016.

Read a first and second time this fifth day of July, 2016.

Read a third time and finally passed this fifth day of July, 2016.

**THE CORPORATION OF THE
TOWNSHIP OF SOUTH FRONTENAC**

Ron Vandewal, Mayor

Wayne Orr, Clerk-Administrator

**THIS SITE PLAN AGREEMENT made this day
of , 2016.**

BETWEEN:

**DARRYL SILVER AND
SHIRLEY SILVER**

hereinafter called the "Owner"

OF THE FIRST PART

- and -

THE CORPORATION OF THE TOWNSHIP OF SOUTH FRONTENAC

hereinafter called the "Municipality"

OF THE SECOND PART

WHEREAS the Owner is the registered owner in fee simple of certain lands described in Schedule "A", attached hereto, located in the Township of South Frontenac (the "Owners' Land");

AND WHEREAS the Municipality is authorized to enter into this agreement and register it against the title to the Lands pursuant to section 41 of the Planning Act and section 6.17 of the Township of South Frontenac Official Plan;

AND WHEREAS the Municipality has passed by-law No. 2003-75 to designate all of the Township of South Frontenac as a "Site Plan Control Area";

NOW THEREFORE, THIS AGREEMENT WITNESSETH that in consideration of the mutual covenants and agreements contained herein, the parties agree each with the other as follows:

In this Agreement:

- a) *"Owner" includes a mortgagee in possession, a tenant in possession pursuant to a leasehold interest, and encumbrancer in possession and may mean more than one Owner specified in the Certificate of ownership.*
1. The Owner covenants that the Owner is the Owner in fee simple of the Owner's land.
 2. The obligations imposed by this Agreement affect the land described in Schedule "A" hereto and any restrictive covenants expressed herein run with the land and bind successors in title to the said property as well as the successors and assigns of the Owner.
 3. The encumbrancer agrees to satisfy all the obligations imposed pursuant to this document if it should enter into possession of the said land.
 4. The following schedules are attached to and form part of this agreement and no new building, structure or other facility shall be erected, altered or placed on the said land except in accordance with the attached schedules which consist of:
 - A. Legal Description of Lands
 - B. Site Plan
 - C. Sydenham Medical Centre Stormwater Management Report

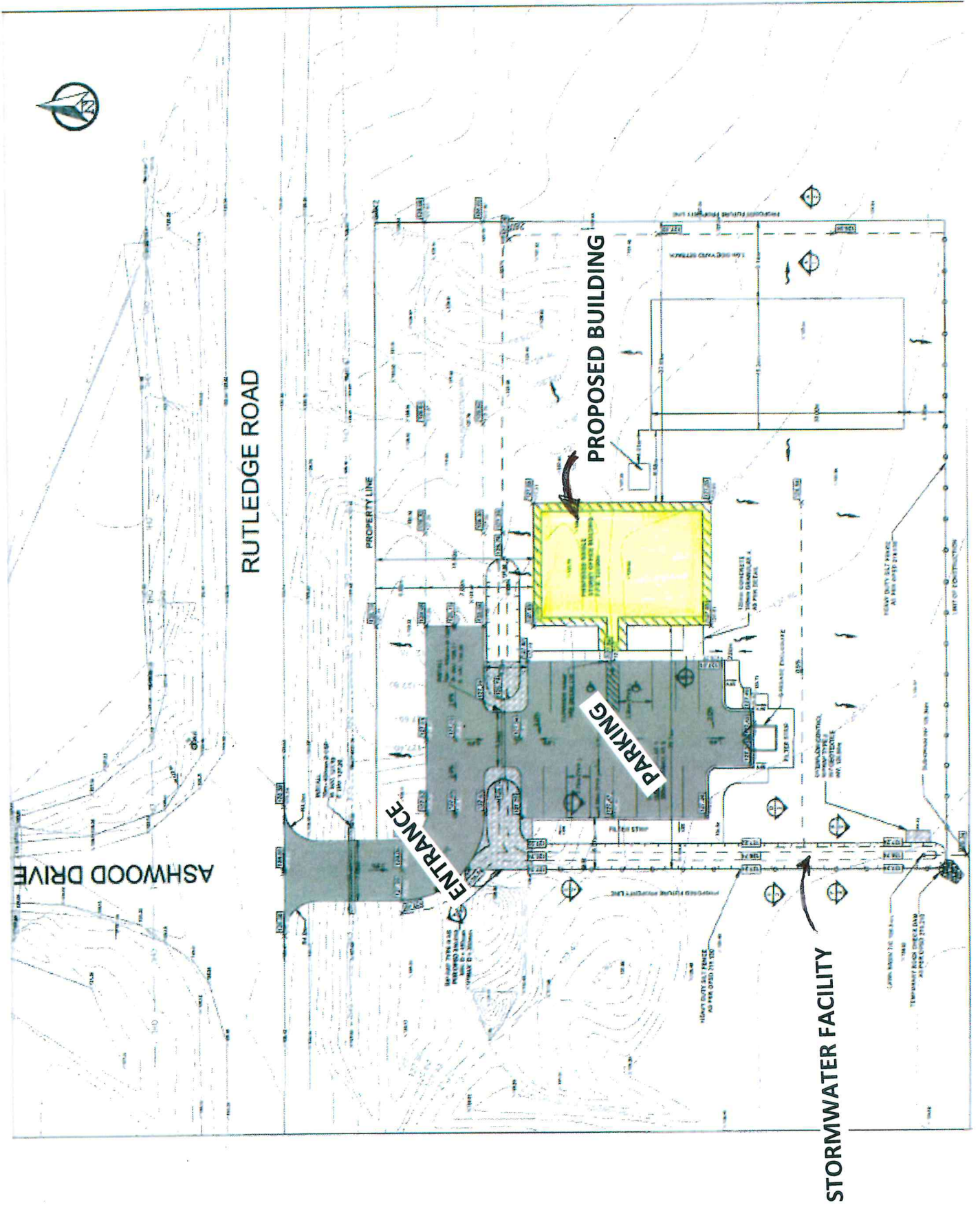
5. The Owner shall perform all the work and provide all the materials necessary for the construction of the new facilities and access ways and any required fencing and landscaping as specified on the Site Plan, included as Schedule "B" to this Agreement.
6. The Owner shall construct a 311 metre² single storey commercial building and a 297 metre² paved manoeuvring/access area located as shown on Schedule "B" and as further specified on Schedule "C" and as described on Drawings dated September 15, 2015 prepared by Pelow Engineering. This work shall include areas specified for garbage collection, lighting, loading, landscaping and signage.
7. The Owner shall carry out the placement of a landscaped area and treed area as identified on Schedule "B" and to include landscaping treatment between the road allowance of Rutledge Road and the paved area.
8. All work on the subject land shall be carried out in accordance with the "Sydenham Medical Centre Stormwater Management Report", dated October 2015, prepared by Forefront Engineering Inc.
9. Site development shall include access and manoeuvring areas as shown and signage is to be attached to the north-facing side of the building. Lighting is to be placed on the building as indicated on "Schedule B".
10. The access onto Rutledge Road is to be constructed to Township specifications. The required access and manoeuvring areas shown on Schedule "B" are to be paved with asphalt. The parking, access aisles and manoeuvring areas shall be paved with asphalt within two (2) years of the date of this agreement.
11. The Owner shall prevent damage being caused to existing public highways, other public works or municipal property in the course of development of the lands.
12. The Owner agrees to contribute to improvements to Rutledge Road to facilitate access to the development to the satisfaction of the Township.
13. In the event of a sale of the improved lands, the new Owner will assume full and complete responsibility for the continuing obligations under this Agreement. The enforcement of this Agreement is the responsibility of the Municipality.
14. The Agreement shall be registered against the title of the Lands and the Municipality shall be entitled to enforce its provisions against the Owner and any and all subsequent owners of the Lands.
15. In the event that the Owner fails to install or maintain the facilities covered by this Agreement, then, upon the Chief Building Official or designate, giving seven days written notice by pre-paid registered mail to the Owners, the municipality, through its employees, agents or contractors, may, without further notice, enter upon the lands and proceed to supply all materials and to do all the necessary inspections and works in connection with the facilities including the repair or reconstruction of faulty work and the replacement of materials which are not in accordance with plans or specifications and to charge the cost thereof, together with the cost of engineering and any other expenses incurred by the municipality, against the Owner. Such entry and work shall not be deemed as acceptance or assumption of said facilities nor an assumption by the Municipality of any liability. It is expressly agreed that the Owners or any person in possession shall not question the cost incurred by the Municipality for labour, materials or any other costs incidental to do the said work and this provision shall be deemed to operate as an effective estoppel in judicial proceedings if such costs are challenged or placed in question. The Owners agree to permit the Chief Building Official, or agent, to enter onto the Lands at any time to inspect the work. The Municipality may perform any of the required services and collect the cost for the enforcement of this Agreement against the said Lands from any security received.

SCHEDULE "A"

LEGAL DESCRIPTION OF LANDS

Part of Lot 2, Concession IV, Loughborough District, Township of South Frontenac

ATTACHMENT #2





SCHEDULE "C"

**SYDENHAM MEDICAL CENTRE
STORMWATER MANAGEMENT REPORT
Prepared by Forefront Engineering Inc.
October, 2015**

PELOW ENGINEERING
**Sydenham Medical Centre
Stormwater Management Report**

Prepared by:

FOREFRONT Engineering Inc.
1329 Gardiners Road, Suite 210
Kingston, ON, Canada K7P 0L8

613.634.9009 tel
888.884.9392 fax

Date: October 2015

Statement of Qualifications and Limitations

The attached Report has been prepared by Forefront Engineering Inc. (Consultant) for the benefit of the Client in accordance with their Agreement.

The information, data, recommendations and conclusions contained in the Report:

1. is subject to the scope, schedule, and other constraints and limitations in the Agreement and the qualifications contained in the Report;
2. represents Consultant's judgement in light of the limitations and industry standards for the preparation of similar reports;
3. may be based on information provided to Consultant which has not been independently verified;
4. has not been updated since the date of issuance of the Report and its accuracy is limited to the time and circumstances in which it was prepared; and
5. must be read as a whole and sections should not be read out of context.

Consultant shall be entitled to rely upon the accuracy and completeness of information that was provided to it and has no obligation to update such information. Consultant accepts no responsibility for any events or circumstances that may have occurred since the date on which the Report was prepared.

Any estimates or opinions regarding expected construction costs or construction schedule provided by Consultant represent Consultant's judgement in light of its experience and the knowledge and information available to it at the time of preparation. Consultant does not make any representations, with respect to such estimates or opinions, and accepts no responsibility for any loss or damage arising from them. Persons relying on such estimates or opinions do so at their own risk.

Except as agreed to in writing by Consultant and Client; as required by-law; or to the extent used by governmental reviewing agencies for the purpose of obtaining permits or approvals, the Report and the Information may be used and relied upon only by Client.

Consultant accepts no responsibility, to parties other than Client who may obtain access to the Report or the information for any injury, loss or damage suffered by such parties arising from their use of, reliance upon, or decisions or actions based on the Report, except to the extent those parties have obtained the prior written consent of Consultant to use and rely upon the Report and the information. Any injury, loss or damages arising from improper use of the Report shall be borne by the party making such use.

October 23, 2015

Mr. John Pelow
Pelow Engineering
1089 Dunham Street
Kingston, Ontario K7P 2K2

Dear Mr. Pelow

**Regarding: Sydenham Medical Centre
Stormwater Management Report**

The enclosed report details the infrastructure upgrades required for this development and recommendations for the proposed development.

Stormwater runoff from the Sydenham Medical Centre parking lot building to be directed to the filter strip and proposed stormwater management facility (SWMF). The remainder of the proposed Sydenham Medical Centre development should be directed to the proposed side yard swales to be constructed along the property line.

The Report demonstrates that adequate stormwater management controls are available for the proposed development.

If you have any enquiries or wish to discuss further, please contact this office.

Sincerely,
FOREFRONT Engineering Inc.



Kyle Nielissen, P.Eng.
Project Manager
Kyle.Nielissen@Forefronteng.ca
KN:kn

FOREFRONT Signatures

Report Prepared By:



Brandon Travers, CET

Report Reviewed By:

Kyle Nielissen, P. Eng



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Appendices

Appendix A.

- Figure 2: Pre and Post Development Catchment Areas
- Site Plan and Grading Plan
- Details

Appendix B.

- Modified Rational Method Analysis – 5 Year Event
- Modified Rational Method Analysis – 100 Year Event
- Bio-retention Sizing Calculation

1. Introduction

Forefront has assembled relevant supporting information for the proposed commercial development known as the Sydenham Medical Centre, located in Sydenham Ontario. The legal description of the land is Concession 4, Lot 2, Sydenham, Ontario. The property is located on the south side of Rutledge Road, and south of Ashwood Drive. Refer to Figure 1: Location Plan for the site location.



Figure 1: Location Plan (Image Courtesy of)

The subject area is currently zoned RC 12 classified as special rural commercial. The property has a number of structures and uses. The subject site construction limit is approximately 0.51 hectares in area.

The proposed development will consist of a 311m² single storey building, and 297 m² of paved area.

Refer to **Appendix A: Site Plan & Grading Plan**

2. Existing Conditions

The Soil Survey of Frontenac County identifies the soil cover in the northern area as Lyons Loam. Lyons Loam consists of calcareous glacial till that contains thin fragments of limestone; and is a poorly-drained soil. The southern part of the site identifies as Muck. Muck consists of fairly well decomposed plant material; and is a very poorly-drained soil.

Existing drainage at the subject development generally sheet flows to the south west, directing runoff to a low lying field that flows south of the site. The flows are directed to the downstream Millhaven Creek south of the site.

Refer to **Figure 2: Pre and Post Development Catchment Areas** in Appendix A for the pre development catchment areas for Sydenham Medical Center.

3. Proposed Development

The proposed development will consist of a new building, and asphalt parking lot. To provide water quality and quantity stormwater management controls onsite, a filter strip for pre-treatment and bioretention swale is proposed.

3.1 Water Quantity

Urbanization leads to an increase in impermeable surfaces (roof tops and parking areas). The resultant increased peak flows increase the risk to life, environment and property damage. Water quantity control is generally required when there will be downstream quantity impacts.

Consistent with general Stormwater Management practices, both stormwater quality and quantity control is proposed for the majority of the site. Post development flows will be maintained to pre development levels for all storm events up to and including the 100 year design event.

3.2 Drainage Plan

It is recommended that Sydenham Medical Centre development drainage be directed southerly to the Millhaven Creek through side yard swales and the proposed Stormwater Management Facility.

Major and minor flow paths will be directed to the proposed SWMF and side yard swales. Concentrated outlet locations will be enhanced with rip-rap and geotextile.

Refer to **Figure 2: Pre and Post Development Catchment Areas** in Appendix A for the post development catchment areas for Sydenham Medical Center.

3.3 Analysis

The Rational Method and Modified Rational Method will be utilized to design the proposed SWMF.

3.3.1 Modified Rational Method

The Rational Method calculates the peak flow rate in a catchment due to the runoff contributed from the entire upstream catchment area at a specific location. The Rational Method is represented by the following equation:

$$Q = 0.0028 C I A$$

Where:

C = Runoff coefficient

I = Rainfall intensity (mm/hr)

A = Drainage area (ha)

When developing the rational method the runoff volume was not considered, and the Rational Method alone was not meant for detention basin design. However, the modified Rational Method, actually an extension of the conventional Rational method, has been used in the past for sizing of detention basins. This method should generally be restricted to drainage areas less than 20 acres, and this method is expected to be appropriate for the subject site. The Modified Rational method uses the peak flow calculations paired with assumptions about the inflow and outflow

hydrographs to compute an approximation of storage volumes for simple detention calculations. This approach assumes the stormwater runoff hydrograph (detention basin inflow hydrograph) for the design storm is trapezoidal in shape. The peak runoff rate is calculated using the Rational Formula and it is assumed that the peak of the outflow hydrograph falls on the recession limb of the inflow hydrograph and the rising limb of the outflow hydrograph can be approximated by a straight line. The storage volume is approximated with the following equation;

$$S_d = Q_p t_d - Q_d ((t_d + t_c) / 2)$$

*Storage Formula (Aron and Kibler, 1990)

Where:

Q=Peak runoff rate (m3/s)	td = Duration of Storm (min)
C=Composite runoff coefficient	Qp = Peak Flow (m3/s)
I=Rainfall intensity (mm/hr)	Qd = Discharge Rate (m3/s)
A=Drainage area (ha)	Sd = Required Storage Volume (m3)
tc= Time of Concentration (min)	

The design storm duration is that duration that maximizes the detention storage volume, S_d , for a given return period. An allowable target outflow is set based on predevelopment conditions. The storm duration is t_d , and is varied until the storage volume is maximized. The t_c (time of concentration) will be calculated with The Bransby Williams and Kirpich Method and the shorter duration will be selected, this will provide a conservative flow estimate. Typically the Bransby Williams method is utilized for catchment areas with a C factor greater than 0.4 and the Kirpich method is utilized for catchments with a C factor less than 0.4. A minimum time of concentration of 15 min is required.

3.3.2 Design Storm Events

Quality Event

The Ministry of Environment Stormwater Management Manual refers to a 12.5mm to 25mm 4 hour Chicago storm event for sizing quality treatment facilities in Ontario that are not included in table 3.2 of the manual.

The following formula has been developed for a 25mm- 4 hr Chicago Design storm for this area:

$$I_{25mm} = \frac{498}{(t_c + 9.7)^{0.825}}$$

Minor and Major Event

The minor and major design storm events were based on IDF rainfall statistics that describe the frequency of rainfall depths over a specified duration. Rainfall intensities with various durations and return periods for the site were obtained from the MTO Drainage Manual. A minimum t_c (time of concentration) of 15 minutes is to be used.

3.3.3 Hydrology

Runoff Coefficients

The runoff coefficient (C) is a dimensionless coefficient relating the amount of runoff to the amount of precipitation received. It is a larger value for areas with low infiltration and high runoff (pavement, steep gradient), and lower for

permeable, well vegetated areas (forest, flat land). Coefficients were assigned based on surface cover and soil conditions as follows;

Urban			
Land Use & Topography	Runoff Coefficients		
Asphalt, concrete, roof areas	0.9		
Grassed area, parkland	0.25		
Commercial	0.8		
Industrial	0.7		
Residential			
Single family (<400 m ²)	0.4		
Single family (>400 m ²)	0.5		
Semi-detached	0.5		
Townhouses	0.6		
Apartments	0.6		
Institutions	0.55		
Rural			
Land Use & Topography	Soil Texture		
	Open Sand Loam	Loam or Silt Loam	Clay Loam or Clay
Cultivated			
Flat 0-5% Slopes	0.22	0.35	0.55
Rolling 5-10% Slopes	0.3	0.45	0.6
Hilly 10-30% Slopes	0.4	0.65	0.7
Pasture			
Flat 0-5% Slopes	0.1	0.28	0.4
Rolling 5-10% Slopes	0.15	0.35	0.45
Hilly 10-30% Slopes	0.22	0.4	0.55
Woodlands and Cutover			
Flat 0-5% Slopes	0.08	0.25	0.35
Rolling 5-10% Slopes	0.12	0.3	0.42
Hilly 10-30% Slopes	0.18	0.35	0.52
Bare Rock			
Coverage			
	30%	50%	70%
Flat 0-5% Slopes	0.4	0.55	0.75
Rolling 5-10% Slopes	0.5	0.65	0.8
Hilly 10-30% Slopes	0.55	0.7	0.85
Lakes and Wetlands	0.05		
Note: Values are a combination of the City of Kingston Subdivision Guidelines and Ministry of Transportation Design Chart 1.07			

In order to reflect the unique hydrologic properties within each sub-catchment, a variety of surface cover types were defined.

Due to the drainage characteristics of the soil at this site there is minimal opportunity for infiltration. Based on the existing site conditions a runoff coefficient of 0.3 is recommended.

3.3.4 Pre Development Flows

Runoff coefficients, and catchment characteristics were assigned for the existing catchments and are summarized in Table 3-1 below.

Table 3-1 Existing Conditions

Sydenham Medical Center- Overland Flow Time of Concentration Calculations								
Hydrologic Units - Existing Conditions								
Hydrologic Unit	Est'd C	Area (ha)	Length (m)	Average Width (m)	Grade(%)	Tc (Bransby Williams) (when C = >0.4)	Tc (Kirpich Method) (C<0.4)	Tc (Airport Method) (C<0.4)
EX1	0.30	0.51	102	68.04	1.67	5.62	3.27	22.25

A minimum time of concentration of 15 min is proposed.

3.3.5 Post Development Flows

The development of this site will increase the imperviousness of the site and hence the runoff. Runoff coefficients and catchment characteristics were assigned for the proposed catchments and are detailed in Table 3-2.

Table 3-2 Proposed Conditions

Sydenham Medical Center- Overland Flow Time of Concentration Calculations								
Hydrologic Units - Proposed Conditions								
Hydrologic Unit	Est'd C	Area (ha)	Length (m)	Average Width (m)	Grade(%)	Tc (Bransby Williams) (when C = >0.4)	Tc (Kirpich Method) (C<0.4)	Tc (Airport Method) (C<0.4)
Catchment 1	0.30	0.04	184.00	7.16	0.50	16.62	8.19	44.47
Catchment 2	0.30	0.16	84.00	15.72	1.00	5.75	3.43	23.90
Catchment 3	0.90	0.14	285.00	14.25	0.25	26.09	14.97	17.39
Catchment 4	0.30	0.17	270.00	21.80	2.35	15.49	6.06	32.32
Total	0.46	0.51						

A minimum time of concentration of 15 min is proposed.

Results shown in Table 3-3 quantify the peak rate of surface runoff calculated with the rational method and assigned catchment characteristics, both the pre-development and uncontrolled post development flow rates are calculated.

Table 3-3 Uncontrolled Peak Flows in Pre & Post Development Conditions

Description	25mm- 4 hr Design Storm	5 yr Design Storm	100 yr Design Storm
	Peak Flow Q (LPS)	Peak Flow Q (LPS))	Peak Flow Q (LPS)
Pre-development	15	27	47
Post Development	23	39	72

Note: The MTO District 8 West of Kingston was utilized for the intensity calculations

Conveyance controls and a storage system is proposed to limit post developments flows shown in Table 3-3 to pre development levels.

Conveyance controls and a storage system is proposed to limit post developments flows to pre-development levels.

A bio-retention filter facility is proposed for quality and quantity control. The quality outlet will include a subdrain with an overflow structure and the quantity control will be controlled with a rip-rap weir.

Quantity control volumes required for bio-retention filter facility are based on the 5 year and 100 year design storm and are 13.9 m³ and 23.8 m³, detailed modified rational calculations are included in Appendix B. Quantity control volumes proposed are in excess of the required volumes.

Refer to the Modified Rational Method Calculations for the 5 Year and 100 Year events in Appendix B for the peak flow, outlet and storage calculations.

3.4 Water Quality

The Stormwater Management Planning and Design Manual by the MOE describes various levels of protection of water quality, based on a general relationship between the end-of-pipe stormwater management facilities long-term suspended solids removal and the lethal and chronic effects of suspended solids on aquatic life.

Based on the characteristics of the receiving watercourse, Enhanced Protection (corresponding to the end-of-pipe storage volumes required for the long-term removal of 80% of suspended solids) is proposed. The proposed development shall utilize a treatment train approach with pre-treatment being provided by a filter strip and end of pipe controls with a bioretention filter type facility. The filter strip will provide between 20% and 60% removal of total suspended solids and the bioretention filter facility will provide a minimum of 80% removal of suspended solids. The combined removal efficiency is expected to be between 80% and 99% removal of total suspended solids in excess of the 80% required.

3.4.1 Quality Control

Quality Event

The Ministry of Environment (MOE) Stormwater Management Manual utilized continuous event modeling for storm events of 12.5 mm to 25 mm to develop table 3.2 in the manual. An additional approach is to utilize the 25mm 4 hour Chicago water quality storm.

It is proposed to utilize the 25mm storm water quality volume to size the facility.

Water Quality Volume= (WQV= V x C x A)

C= % Impervious

A= Impervious Area (m²)

V= Storm Volume (m)

V= 0.025 m for 25 mm event

Below is a summary of the impervious areas and associated water quality volume (WQV) calculations based on the 25mm 4 hour Chicago Storm event:

Land Description	Area (m ²)	% Impervious	Treatment	WQV (m ³)
Building	311	0.9	Filter Strip and Bio-Retention Filter	7.0
Parking Lot	297	0.9	Filter Strip and Bio-Retention Filter	6.7
Landscaped Area	4492	0.3	Bio-Retention Filter	33.7
Total	5,100	0.46		58.6

Water quality is not a concern for rooftops and area with direct rainfall on pervious landscaped areas of the site.

3.4.2 Filter Strip (Pre-Treatment)

Filter strips discharge in the form of sheet flow and are most effective when utilized as pre-treatment features. The purpose of a filter strip is to slow runoff velocity and filter out suspended solids. Native grass vegetation is proposed with an incorporated pea gravel diaphragm to be used as a level spreader to maintain sheet flow. The ideal slope is between 1 and 5%.

According to the "Low Impact Development Stormwater Management Planning and Design Guide" (2010) by the Toronto and Credit Valley Conservation Authority, filter strip water quality treatment is moderate but highly variable and as such filter strips should be used in a series. Removal efficiencies of Total Suspended Solids (TSS), Total Nitrogen, Total Phosphorous and Total Heavy Metal are between 20 to 80%. The minimum width of the filter strip should be 2 metres in length. In addition to quality control the typical volumetric runoff reduction for a 2.0 metre filter strip is approximately 20%. As is the case, filter strips are best utilized for areas less than 2 hectares.

The following criteria was utilized in the filter strip design:

- 2.0m wide filter strip
- 1%-4% side slope
- Pea gravel diaphragm
- 300 mm of Topsoil
- Native grass plantings

3.4.3 Bioretention Filter

A bioretention filter and vegetated filter strip are to be utilized for the proposed development.

The total site area is 0.51 ha, quality control will be provided for the entire site. For a 25 mm design storm the required control volume is 58.65 m³

See **Appendix B: Bioretention Sizing Calculation**, and **Appendix A: Details** for details.

The following criteria was utilized in the design:

- 1.3 m deep
- 1.0 m filter media (75mm mulch, 1.0 mm Engineered soil, 0.3m Gravel Storage Layer)
- 0.3 m gravel storage layer (50mm clean stone)
- 100 mm underdrain
- Overflow structure
- The interior side slopes are 3:1
- Native Plantings

3.4.4 Drainage

Side yard swales shall be incorporated along the north, south, and east property lines and an entrance culvert shall be incorporated to allow minor and major flow conveyance onsite.

The parking area shall be graded to discharge runoff to the filter strip and bioretention filter.

3.5 Maintenance

Maintenance access to the bioretention filter and filter strip is provided via the asphalt parking area. Periodic maintenance inspection of the facilities should be undertaken. The inspection should provide a summary of the following items:

- Observations resulting from the inspection of the facility over the course of the year. These observations should include comments on the:
 - hydraulic operation of the facilities (detention time, evidence or occurrence of overflows)
 - condition of vegetation in and around facility
 - occurrence of obstructions at the inlet and outlet
 - evidence of spills and oil/grease contamination
 - frequency of trash build-up
 - Measured sediment depths in the facilities;
 - Maintenance and operational control undertaken during the year;
 - Recommendations for inspection and maintenance program for the coming year.

The bioretention filter and filter strip will require routine periodic maintenance including weed control, and trash removal will be required several times per year. Removal of accumulated sediment, replacement of mulch and replacement of plantings should be evaluated annually with a recommended replacement period every 5 years.

4. Quality Control (Short Term)

Silt fencing is to be provided at all side slopes and down gradient locations to ensure sediment and erosion control during construction. Other control devices such as rock flow check dams will also be provided where drainage is concentrated. Sediment and erosion management measures also serve to provide a limit to the grading operations.

The stormwater facility and components are to be constructed concurrently with initial phases of development. The timeframe for land to remain exposed before it is stabilized with sod, mulch, or hydroseeding is to be minimized. Topsoil is to be stockpiled away from watercourses and wetlands.

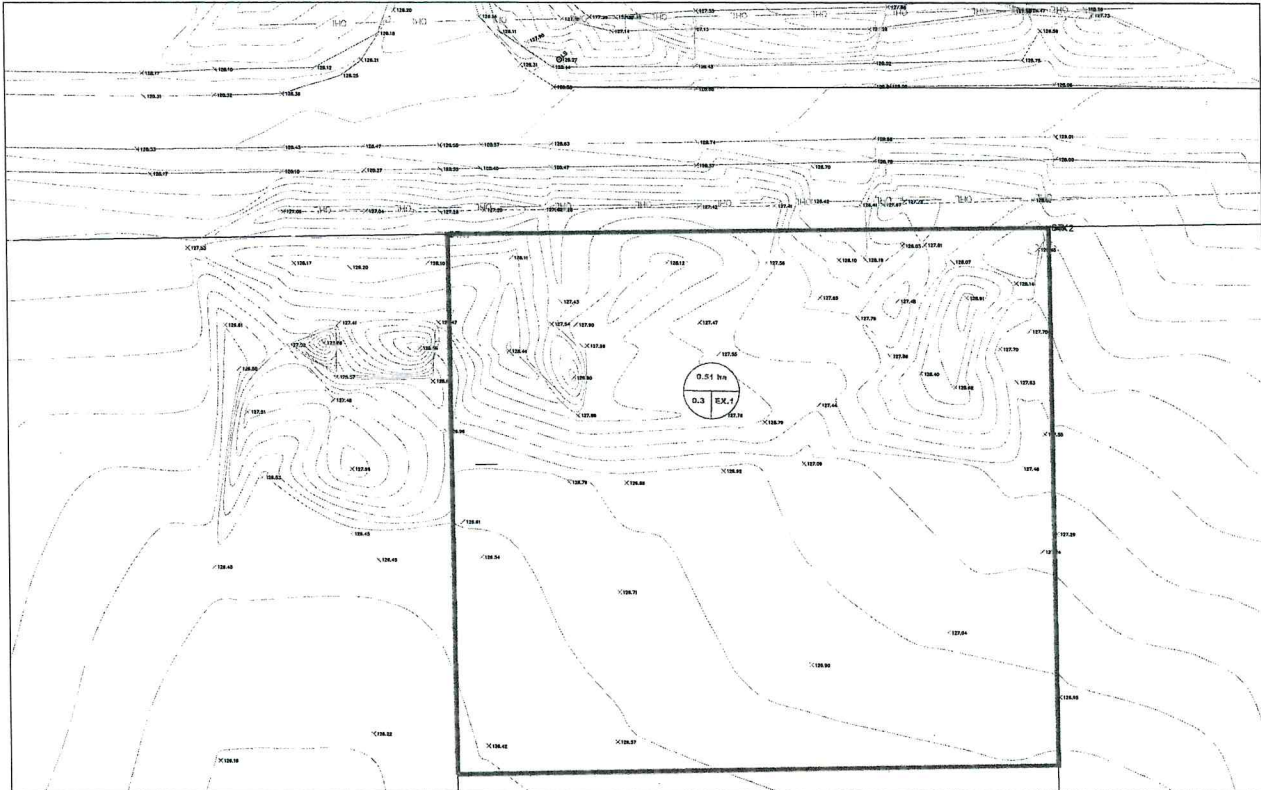
Inspection of the sediment control works should be undertaken before and after all rainfall (and snowmelt) events. Maintenance is to be undertaken as required to ensure the proper operation of all sediment and erosion controls.

5. Conclusions

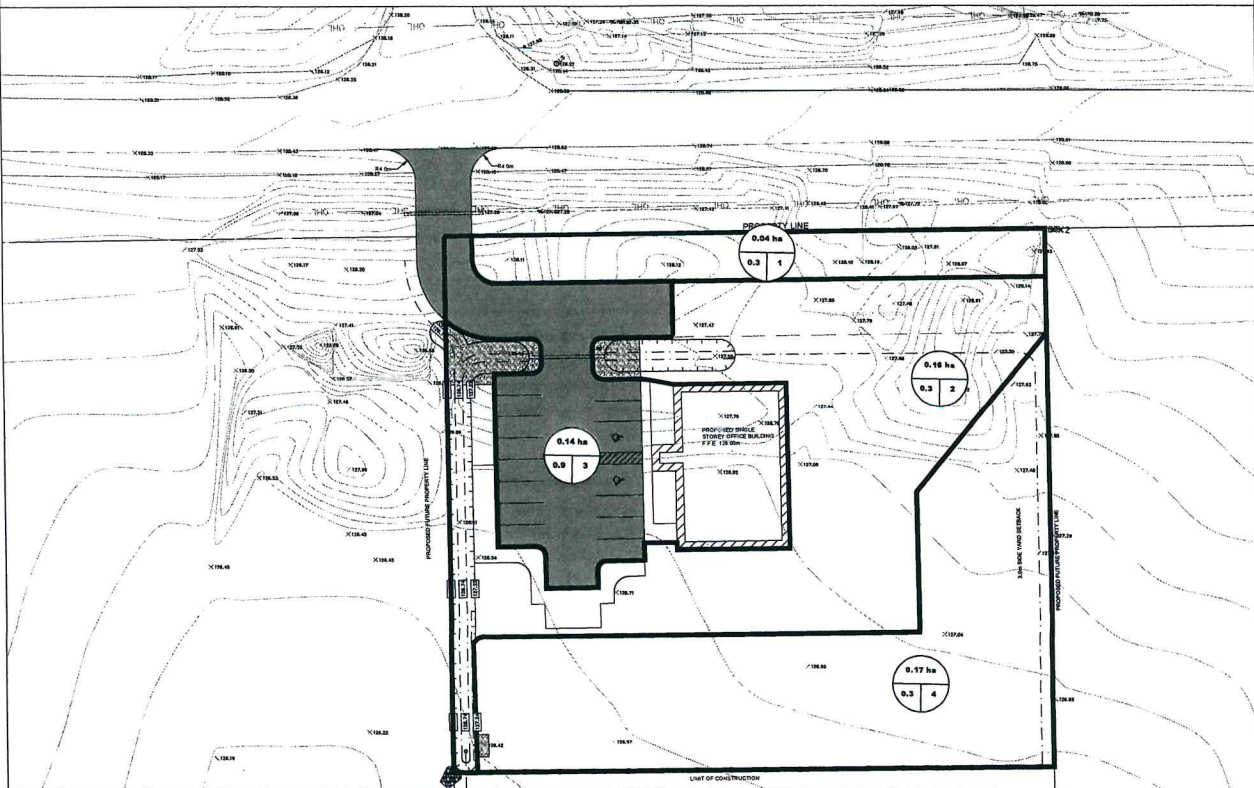
Preliminary calculations find that the proposed infrastructure is capable of and will effectively service the proposed demand created by this development. A 2.0 m wide filter strip and bioretention filter shall be utilized for on-site stormwater quality and quantity control.

Appendix A

Figure 2: Pre and Post Development Catchment Areas
Servicing Plan & Grading Plan
Details



EXISTING STORMWATER CATCHMENT AREAS



PROPOSED STORMWATER CATCHMENT AREAS



1329 Gardiners Road, Suite 210
 Kingston, ON, Canada K7P 0L8
 613.634.9109 tel.
 1.866.884.3382 fax.

Prepared by
PELOW ENGINEERING

Project
SYDENHAM MEDICAL CENTER

Drawing
**PRE AND POST DEVELOPMENT
 CATCHMENT AREAS**

Drawn by DF	Checked by DM	Project No. 028
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Designed by DM	Approved by DM	Drawing No.
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Date
 SEPTEMBER 2015

Scale
 NTS

FIG.2

GENERAL

- All works to be installed in accordance with current Township of South Frontenac Site Plan Control Guidelines, Utilities Kingston Standards, Ontario building codes and, Ontario Provincial Standard Specifications and Drawings unless specified otherwise.
- The Contractor shall acquire all permits as required for all works within the Municipal Right of Way.
- Refer to Architectural Drawings, Landscape Drawings and coordinate.
- Prior to construction, Contractor to verify all dimensions, sewer inverts and utility locations and identify possible conflicts.
- In the event that human remains are encountered during construction, the Contractor shall immediately contact the Ministry of Tourism Culture and Sport, the Registrar of the Cemeteries Regulation Unit from the Ministry of Consumer Services, at (416) 328-8393 and City Police.
- Septic system to be designed by others as per O.B.C.
- Well to be installed onsite, separation from septic bed shall be a minimum of 15m.

GRADING

- Finished surfaces shall be at a minimum grade of 2% unless otherwise noted.
- Slopes in landscaped areas shall not exceed 2:1.
- All existing elevations and grades are to be verified by the contractor prior to grading.
- Utilities are to be located prior to construction.
- All ground surfaces shall be graded to prevent ponding and without low areas except where approved swales or catchbasin outlets are provided.
- Maximum hard surface grades are to be 8.0%.
- Staked straw bale filters and flow checks to be installed as per OPSD 219.100 and OPSD 219.160 around catchbasins and sewer inlets.
- Conflicts between the architectural drawings and grading shall be brought to the attention of the contract administrator.
- The contractor is responsible for reviewing proposed grades with conflicts regarding the proposed structures.
- Sub-drain and outlet elevations are to be confirmed prior to construction any structures.
- Sub-grade shall be graded at a minimum of 2%, until a lower ditch is encountered or the existing surface drains away from the sloped sub-grade.
- Gravel areas include at mounding required to maintain the proposed gravel pad edges.

SITE WORKS

- Road cuts to be reinstated with Asphalt, Granular A, Granular B to existing depths or a minimum of 40mm H.L., 40mm HDB 150mm granular A, 300mm Granular B.
- Where in earth subgrade granular depths to be 150mm Granular A and 300mm Granular B. Provide 3% crossfall on subgrade.
- Existing pavement thickness to be matched on Rutledge Road.
- Hot mix, hot laid asphalt concrete as per OPSD 1150.
- Mix design shall contain a minimum of 5.4% asphalt cement with a performance grade of PHSB-28 and 5.5% air voids. Parking lot hot mix asphalt shall be: 50mm H.L.
- Concrete curb type OPSD 400.040.
- Concrete shall be Class C2, 32 Mpa 28 day strength, 19mm coarse aggregate nominal maximum size, 8.0% to 8.0% air content.
- Concrete materials and production as per OPSD 350, 351, 352, 353, 1301, 1302 and 1350.
- Boulevards slope shall be a minimum of 2% and a maximum of 8% within ROW.
- Boulevards and landscape areas to be finished with 100mm of topsoil and nursery sod or seed.
- All ground surface grades shall be graded to prevent ponding and without low areas.
- Subgrade to be reviewed by Geotechnical Engineer prior to installing granular materials.

SEDIMENT AND EROSION CONTROL NOTES

- All erosion and sediment controls shall be installed prior to construction and monitored and maintained by the Contractor throughout the construction process, until all disturbed areas have been revegetated then the temporary sediment and erosion control measures must be removed once the site has been stabilized/completed of site works.
- All erosion and sediment control measures shall be inspected after each rainfall to the satisfaction of CRCA.
- Any disturbed areas not scheduled for further construction within forty-five (45) days will be provided with a suitable temporary mulch and seed cover within seven (7) days of completion.
- Regardless of site specific items detailed on the plans, the Contractor shall install erosion control measures to suit the proposed work methods to control sediment from running off the site prior to any disturbance.
- Following construction, disturbed areas, as well as proposed graded and vegetated surfaces, shall be reinstated as soon as practical.
- All roads used to access the site shall be kept clean to the satisfaction of the Director of Public Works.

ENVIRONMENTAL

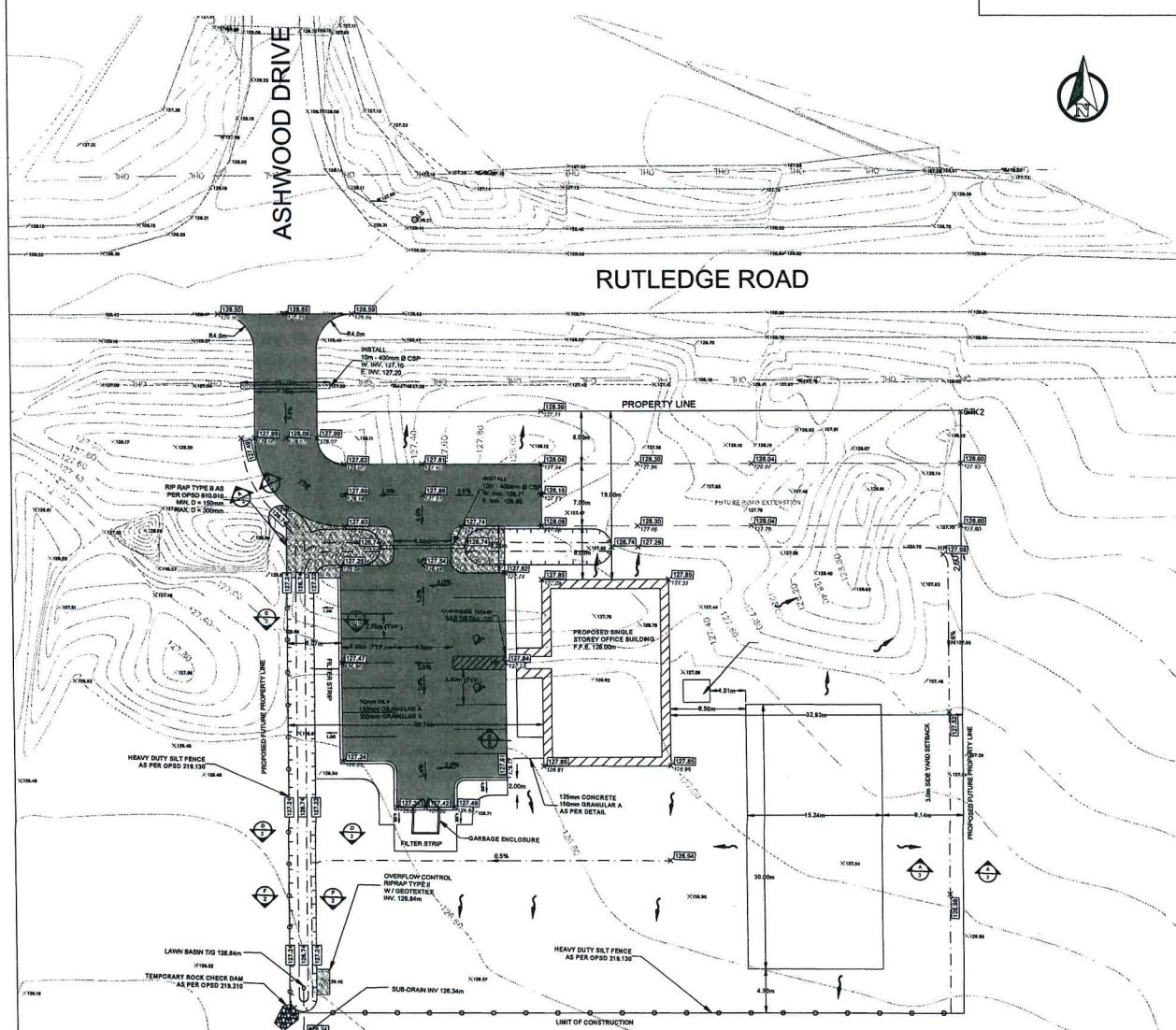
- While undertaking clearing, demolition, excavation or construction the owner and their contractors shall be vigilant for the potential presence of underground fuel tanks, contaminated soil or groundwater, buried wastes or abandoned water wells. If any of the above are encountered or suspected, the owner shall ensure that:
- The Owner and Consultant are notified;
 - Any soil or groundwater contamination encountered is remediated to applicable standards as defined within O.Reg. 153/04 or as revised;
 - Any wastes generated by site clean-ups are managed in accordance with applicable laws and standards;
 - Any abandoned fuel tanks encountered are decommissioned in accordance with applicable laws and standards;
 - Any unused water wells (filled or dug) are properly abandoned in accordance with Ontario regulation 903 - wells or as revised; If it appears likely that contamination extends beyond the boundaries of the subject property, the owner notifies the local office of the ministry of the environment and the city of Kingston's environment department;
 - Construction wastes are not to be buried within the property that is the subject of this agreement; and
 - That the owner and their contractors report all spills to the ministry of the environment's spills action centre (1-800-268-6060) and to the municipality (546-6201 ext. 1360) forthwith.

LEGEND

- 150 LIGHT STANDARD
- ⊕ STOP SIGN
- STREET SIGN
- OVERLAND FLOW PATH
- FLOW PATH
- EXISTING VEGETATION
- VEGETATION REMOVAL
- PROPOSED TREE
- PROPOSED SILT FENCE
- PROPOSED CHAINLINK FENCE
- PROPOSED SHADE CONTROLLER
- BENCHMARK
- ASPHALT SURFACE
- RIP RAP

BENCHMARK

- ① BENCHMARK 1: STANDARD IRON BAR ON NORTH SIDE OF RUTLEDGE ROAD CIVIC# 2932 ELEVATION - 132.006
- ② BENCHMARK 2: STANDARD IRON BAR ON SOUTH SIDE OF RUTLEDGE ROAD CIVIC# 3065 ELEVATION - 128.725



No.	Revision	Date

Forefront Engineering Inc

1329 Gardiners Road, Suite 20
Kingston, ON, Canada K7P 0L8
613.334.5005 (tel.)
1.855.884.3382 (fax)

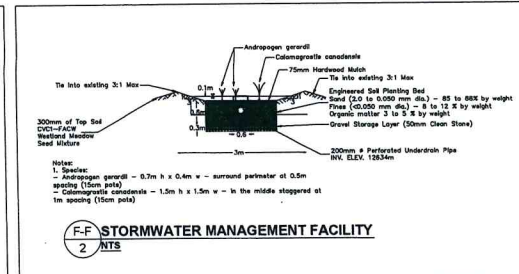
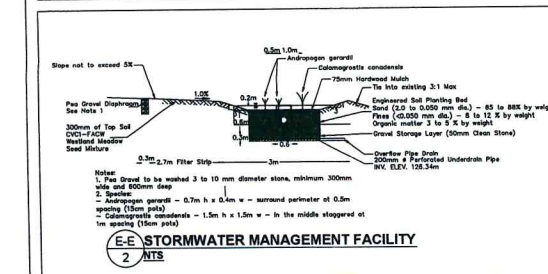
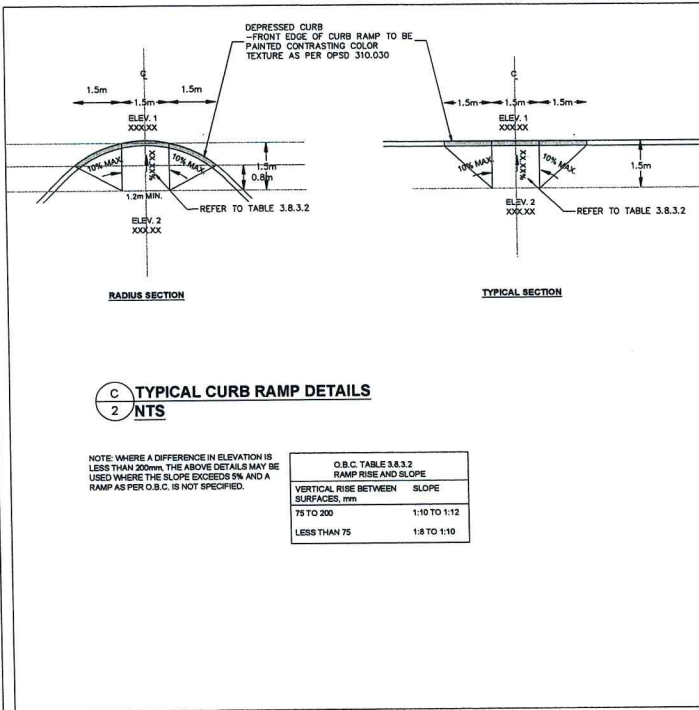
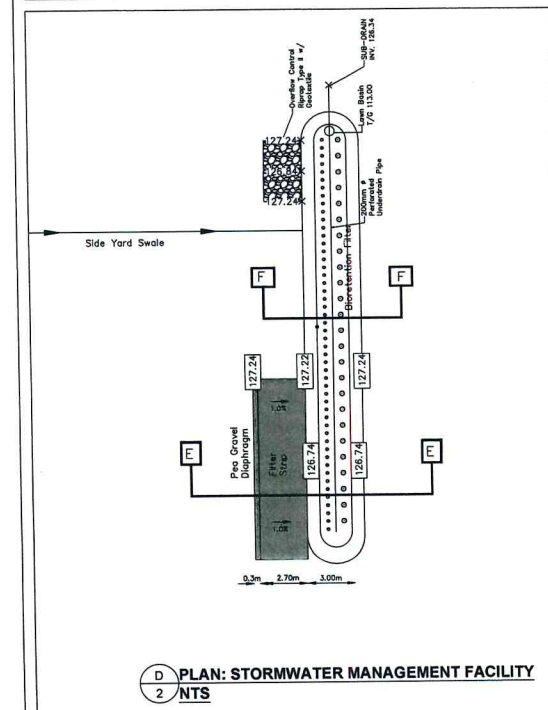
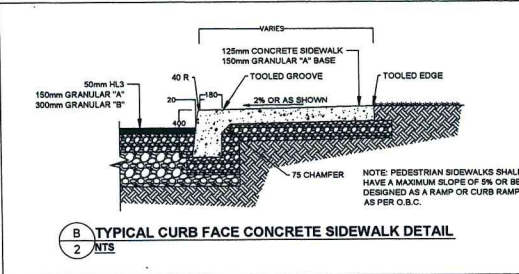
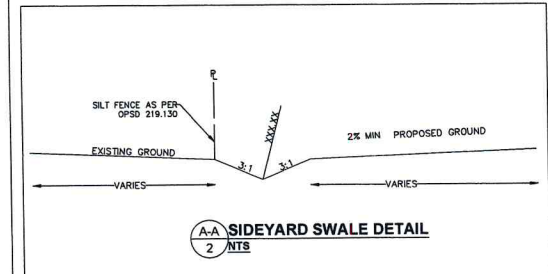
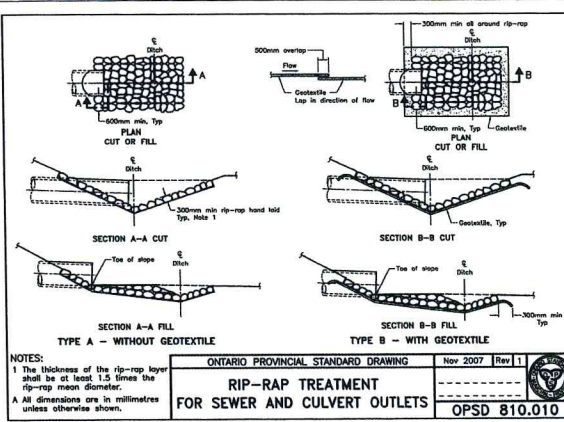
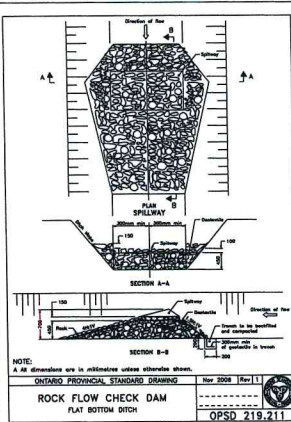
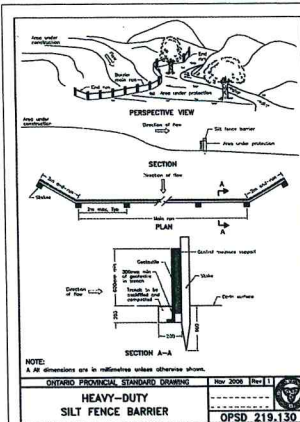
Date: **PELOW ENGINEERING**

Project: **SYDENHAM MEDICAL CENTER**

Drawn: **Site Plan & Grading Plan**

Scale: **SP0809 205**

Sheet: **1**



Forefront Engineering Inc.
1329 Gardners Road, Suite 210
Kingston, ON, Canada K7P 0L8
613.394.8800 ext. 1.085.394.8802 fax.

PELOW ENGINEERING

SYDENHAM MEDICAL CENTER

DETAILS

Drawn by: sp	Checked by: dse	Project No: 028
Designed by: dse	Approved by: dse	Drawing No:
Date: SEPTEMBER 2005	2	
Scale: 81% 1:1		

Appendix B

Modified Rational Method Analysis- 5 year Event
Modified Rational Method Analysis- 100 year Event
Bio-retention Sizing Calculations

MODIFIED RATIONAL METHOD CALCULATIONS & STORAGE VOLUMES FOR SMALL SITES

Project: Sydenham Medical Center
Date: October 2015

5 Year Return Period

Pre-development Runoff	
C	0.3
t _c (min)	15
Area (ha)	0.51
Intensity (mm/hr)	63.50
Q (m ³ /s)	0.027

Post-development Characteristics	
Description	C
Proposed PH2	0.46
Total	0.46

Post-development Peak Flow	
C	0.43
t _c (min)	15
Area (ha)	0.51
Intensity (mm/hr)	63.50
Q _{peak} (m ³ /s)	0.039

Formulas:
 $I = \frac{1778}{(t_c+13)}$
 $Q = 0.0028 * C * I * A$

$S_p = Q_p * t_d / (t_c + t_d) / 2$

*Storage Formula (Aron and Kibler, 1990)

Where:

- Q_p = Peak runoff rate (m³/s)
- C = Composite runoff coefficient
- I = Rainfall intensity (mm/hr)
- A = Drainage area (ha)
- t_c = Time of Concentration (min)
- t_d = Duration of Storm (min)
- Q_p = Peak Flow (m³/s)
- Q_d = Discharge Rate (m³/s)
- S_d = Required Storage Volume (m³)

Orifice Equation
 $Q = 0.65 A (2gh)^{1/2}$

where A = orifice area, g = gravity, and H = head above centre of orifice (m)

Weir Equation

$Q = 1.87(L-0.6H)^{3/2} H^{1.5}$

H = Upstream - Downstream elevation

Storage						
Duration td (min)	Intensity (mm/hr)	CxA	C _p -Uncontrolled Runoff Rate (m ³ /s)	Q _c -Allowable Outflow (m ³ /s)	Peak Storage Rate (m ³ /s)	Storage Volume Total (m ³)
10	79.21	0.23	0.052	0.027	0.025	11.0
15	63.50	0.23	0.042	0.027	0.015	13.2
20	53.66	0.23	0.035	0.027	0.008	13.9
25	46.63	0.23	0.031	0.027	0.004	13.5
30	41.41	0.23	0.027	0.027	0.000	12.5
40	34.13	0.23	0.022	0.027	-0.005	9.2
						Comments
						Storage Required

Weir Width (m)	Water Surface Elevation (m)	Invert of Weir (m)	Head (m)	Release Rate (m ³ /s)	Required Release (m ³ /s)	Velocity m/s	Comments
0.3	126.950	126.840	0.110	0.020	0.027	0.61	
0.3	126.950	126.840	0.110	0.020	0.027	0.61	Proposed
0.3	126.950	126.840	0.110	0.020	0.027	0.61	

MODIFIED RATIONAL METHOD CALCULATIONS & STORAGE VOLUMES FOR SMALL SITES

Project: Sydenham Medical Center
Date: October 2015

100 Year Return Period

Pre-development Runoff	
C	0.3
t _c (min)	15
Area (ha)	0.51
Intensity (mm/hr)	110.24
Q (m ³ /s)	0.047

Post-development Characteristics	
Description	C
Proposed PH2	0.46
Area (ha)	0.51
CxA	
Total	

Post-development Peak Flow	
C	0.46
t _c (min)	15
Area (ha)	0.51
Intensity (mm/hr)	110.24
Q _{peak} (m ³ /s)	0.072

Storage Duration td (min)	Intensity (mm/hr)	CxA	Q _p Uncontrolled Runoff Rate (m ³ /s)	Q _p Allowable Outflow (m ³ /s)	Peak Storage Rate (m ³ /s)	Storage Volume Total (m ³)	Comments
5	190.79	0.23	0.125	0.047	0.078	9.5	
10	138.41	0.23	0.091	0.047	0.044	19.4	
15	110.24	0.23	0.072	0.047	0.026	23.0	
20	92.70	0.23	0.061	0.047	0.014	23.8	Storage Required
25	80.21	0.23	0.053	0.047	0.006	22.8	
30	70.98	0.23	0.047	0.047	0.000	20.6	
35	63.85	0.23	0.042	0.047	-0.005	17.7	
40	58.16	0.23	0.038	0.047	-0.009	14.3	

Weir Width (m)	Water Surface Elevation (m)	Invert of Weir (m)	Release Rate		Velocity m/s	Comments
			Head (m)	Required Release (m ³ /s)		
0.3	127.020	126.840	0.180	0.042	0.78	
0.3	127.020	126.840	0.180	0.042	0.78	Proposed
0.3	127.020	126.840	0.180	0.042	0.78	

Formulas:

I= Mto District 8 West DF Curve

$Q = 0.0028 * C * I * A$

$S_d = C_d * Q_p * (t_p + t_c) / 2$

*Storage Formula (Ison and Kibler, 1999)

Where:

- Q=Peak runoff rate (m³/s)
- C=Composite runoff coefficient
- I=Rainfall intensity (mm/hr)
- A=Drainage area (ha)
- t_c= Time of Concentration (min)
- td = Duration of Storm (min)
- Q_p = Peak Flow (m³/s)
- Q_d = Discharge Rate (m³/s)
- S_d = Required Storage Volume (m³)

Orifice Equation

$Q = 0.65 A (2gh)^{1/2}$

where A = orifice area; g = gravity; and H=head above centre of orifice (m)

Weir Equation

$Q = 1.837(L-0.08)H^{3/2}$

H= Upstream- Downstream elevation

Bioretention Sizing

$$WQV = V \times C \times A$$

C = % Impervious

A = Impervious Area (m²)

V = Storm Volume (m)

V = 0.025 m for 25 mm event

$$A = 5100 \text{ m}^2$$

$$C = 0.46$$

$$V = 0.025 \text{ m}$$

$$WQV = 58.65 \text{ m}^3$$

$$d_r = i * t_s / V_r \quad \text{Maximum depth of stone reservoir below the underdrain pipe}$$

$$d_{c \text{ max}} = i * (t_s - d_p / i) / V_r \quad \text{Maximum allowable depth of the cell (filter bed and gravel storage layer)}$$

i = Infiltration rate for native soils (mm/hr)

t_s = Time to drain (design for 48 hour time to drain is recommended)

V_r = Void space ratio for filter bed and gravel storage layer (assume 0.4)

d_p = Maximum surface ponding depth (mm)

$$i = 15 \text{ mm/hr}$$

$$t_s = 48 \text{ hrs}$$

$$V_r = 0.4$$

$$d_p = 100 \text{ mm}$$

$$d_r = 1800 \text{ mm}$$

$$d_{c \text{ max}} = 1550 \text{ mm}$$

$$d_{c \text{ proposed}} = 900 \text{ mm}$$

$$A_f = WQV / d_p + (d_c * V_r)$$

A_f = Footprint surface area (m²)

WQV = Water quality volume (m³)

d_c = Bioretention cell depth (m)

V_r = Void space ratio for filter bed and gravel storage layer (assume 0.4)

d_p = Maximum surface ponding depth (mm)

$$A_f = 151.3 \text{ m}^2 \quad \text{Including 100 year storage requirement}$$

190 m² is provided



Payment Listing
For the period of June 22, 2016 to July 5, 2016

Accounts Payable Payment Listing:

For the period of June 22, 2016 to July 5, 2016 2,282,478.60

Payroll Payment Listing:

Pay Period #13	Pay date June 22, 2016	85,324.15
	For the period of June 5, 2016 to June 18, 2016	
Council Reimbursement	Pay date June 22, 2016	1,825.97
	For the period of June 5, 2016 to June 18, 2016	
Council Honorarium	Pay date June 30, 2016	9,825.47

Total Payments

\$ 2,379,454.19

RECOMMENDATION:

1. It is recommended that Council receive for information the listing of the Accounts Payable and Payroll for the period ending JULY 5, 2016 in the amount of
\$ 2,379,454.19

Submitted/approved by:

Suzanne Quenneville - Deputy-Treasurer

Louise Fragnito - Treasurer

**Township of South Frontenac
 CHEQUE DISTRIBUTION REPORT**

Ranges: From: To: Distribution Types Included:
Cheque Date: 6/22/2016 7/5/2016 PURCH, MISC

10 GG

0000 Gen

Cheque	Date	Inv #	Vendor	Description	Amount
EFT000000005703	7/5/2016	05047609	ABELL PEST CONTROL INC.	PEST CONTROL	\$161.55
Total EFT000000005703					\$161.55
EFT000000005727	7/5/2016	61269 61334	THE FRONTENAC NEWS	JUNE 16TH ADVERTISING JUNE 23RD ADVERTISING	\$726.64 \$745.33
Total EFT000000005727					\$1,471.97
Total Gen					\$1,633.52

0020 TaxC

Cheque	Date	Inv #	Vendor	Description	Amount
EFT000000005717	7/5/2016	IVC00000000046400	COUNTY OF FRONTENAC	2ND QUARTER LEVY	\$1,344,679.75
Total EFT000000005717					\$1,344,679.75
Total TaxC					\$1,344,679.75

1000

Cheque	Date	Inv #	Vendor	Description	Amount
067630	7/5/2016	248975	TOM'S LAWN CARE	JUNE LAWN CARE	\$254.40
Total 067630					\$254.40
EFT000000005724	7/5/2016	29023 29066	EVERTEMP INC	REPLACE FILTERS, CHECK PUMP SPRING MAINTENANCE	\$184.91 \$241.33
Total EFT000000005724					\$426.24
EFT000000005732	7/5/2016	129636	HAVEN HOME ENTERPRISE INC	CORRECT SUPERIOR INFRACTIONS	\$525.59
Total EFT000000005732					\$525.59
EFT000000005750	7/5/2016	15/05-15/06 SYDENHAM 15/05-15/06 SYDENHAM 15/05-15/06 SYDENHAM	R&D NELSON GENERAL MAINTENANCE	MAY - 40 HRS @ \$15.00 JUNE - 45 HRS @ \$15.00 MAINTENANCE SUPPLIES	\$610.56 \$686.88 \$289.07
Total EFT000000005750					\$1,586.51
EFT000000005769	7/5/2016	60499	TROUSDALE'S HOME HARDWARE	BATTERIES, HOSE NOZZLE SET	\$29.49
Total EFT000000005769					\$29.49
Total					\$2,822.23

1100 Counc

Cheque	Date	Inv #	Vendor	Description	Amount
067632	7/5/2016	9389	TROPHY HOUSE	VOLUNTEER WALL PLAQUES	\$232.33
Total 067632					\$232.33
EFT000000005768	7/5/2016	7940 7940 9409 1260 1260	TROUSDALE'S FOODLAND	VOLUNTEER RECOGNITION VOLUNTEER RECOGNITION VOLUNTEER DINNER MEETING EXPENSE MEETING EXPENSE	\$6.38 \$14.80 \$341.10 \$7.99 \$80.83
Total EFT000000005768					\$451.10
Total Counc					\$683.43

1250 Clk

Cheque	Date	Inv #	Vendor	Description	Amount
067604	7/5/2016		COUNTY OF NORTHUMBERLAND		

Township of South Frontenac CHEQUE DISTRIBUTION REPORT

Total 067604		SALES000000029218	WORKPLACE INVESTIGATION TRAIN	\$210.53
EFT000000005717	7/5/2016			\$210.53
			COUNTY OF FRONTENAC	
Total EFT000000005717		IVC0000000046408	JUNE EAP	\$265.53
EFT000000005768	7/5/2016			\$265.53
			TROUSDALE'S FOODLAND	
		7760	PLATES	\$6.09
		7760	COFFEE, CREAM, SUGAR	\$20.86
		862	COFFEE, CREAM, SUGAR TWIN	\$25.05
		6	CREAM	\$2.69
Total EFT000000005768				\$54.69
EFT000000005769	7/5/2016			
			TROUSDALE'S HOME HARDWARE	
Total EFT000000005769		202736	COFFEE POT	\$19.32
Total Clk				\$19.32
Total GG				\$550.07

1275 Fin

Cheque	Date	Inv #	Vendor	Description	Amount
EFT000000005720	7/5/2016		CUNNINGHAM SWAN CARTY		
		139005		DISCHARGE OHRP LIEN	\$228.06
Total EFT000000005720					\$228.06
EFT000000005740	7/5/2016		MARCHANT MARKING DEVICES LTD.		
		34874		SELF INKING STAMP	\$72.19
Total EFT000000005740					\$72.19
Total Fin					\$300.25

Total GG

\$1,350,669.25

20 PP&P

2100 Fire

Cheque	Date	Inv #	Vendor	Description	Amount
067602	7/5/2016		CAR DREAMS SUPPLIES INC.		
		9439		4 TRUCKWASH	\$345.98
Total 067602					\$345.98
067605	7/5/2016		CROSS WIRED		
		INV-101		REPAIR TRUCK	\$152.64
Total 067605					\$152.64
067621	7/5/2016		NEW TOPPERS MARKET		
		16/04/20-1		GAS	\$37.82
		16/04/20-2		DIESEL	\$52.51
		16/04/21-3		GAS	\$33.86
		16/04/23-4		DIESEL	\$25.22
		16/04/30-5		DIESEL	\$40.22
		16/05/12-6		GAS	\$35.72
		16/05/24-7		GAS	\$25.27
		16/05/24-8		GAS	\$54.03
		16/05/24-9		DIESEL	\$66.72
		16/06/06-10		GAS	\$67.57
		16/06/12-11		DIESEL	\$58.55
		16/06/13-12		GAS	\$59.16
		16/06/21-13		GAS	\$92.91
		16/06/21-14		GAS	\$32.61
		16/06/21-15		DIESEL	\$50.81
Total 067621					\$732.98
067622	7/5/2016		NOONAN, MIKE		
		16/06/30-03		JUNE MOWING	\$250.00
Total 067622					\$250.00
067636	7/5/2016		WILLIAMS, KATHY		
		MAR TO JUNE 2016		MARCH - 4 CLEANS @ \$35	\$140.00
		MAR TO JUNE 2016		APRIL - 5 CLEANS @ \$35	\$175.00
		MAR TO JUNE 2016		MAY - 4 CLEANS @ \$35	\$140.00
		MAR TO JUNE 2016		JUNE - 4 CLEANS @ \$35	\$140.00
Total 067636					\$595.00
EFT000000005703	7/5/2016		ABELL PEST CONTROL INC.		
		06522866		JUNE PEST CONTROL	\$42.60
		06440515		JUNE PEST CONTROL	\$34.53
		06700702		JUNE PEST CONTROL	\$40.70

Township of South Frontenac CHEQUE DISTRIBUTION REPORT

Total EFT000000005703				\$117.83
EFT000000005704	7/5/2016	9144135309	ACKLANDS - GRAINGER INC. OPTISORB	\$184.25
Total EFT000000005704				\$184.25
EFT000000005706	7/5/2016	0000128200	AJ STONE COMPANY LIMITED 50' HOSE	\$246.64
Total EFT000000005706				\$246.64
EFT000000005722	7/5/2016	9560	DRAPER DOORS GARAGE DOOR REPAIR	\$1,460.26
Total EFT000000005722				\$1,460.26
EFT000000005738	7/5/2016		LEONARD FUELS	
		1057-714842	89.96L @ \$.9372	\$83.96
		1057-714741	99.83L @ \$.9372	\$93.17
		1057-713823	20L @ \$1.0790	\$21.96
		1057-711694	89L @ \$.9372	\$83.07
		1057-710272	39.24L @ \$.9726	\$38.04
Total EFT000000005738				\$320.20
EFT000000005739	7/5/2016		LEONARD, ELIZABETH	
		16/06/16-46	1 CLEAN @ \$60	\$60.00
Total EFT000000005739				\$60.00
EFT000000005742	7/5/2016		MCNICHOLS CONSTRUCTION LTD	
		16/06/21-FIRE	BRESEE FARM BARN FIRE	\$1,521.31
Total EFT000000005742				\$1,521.31
EFT000000005746	7/5/2016		PAT ROGERS TOWING SERVICE	
		A14409	TOW CALL	\$412.13
		A14191	TOW CALL	\$534.24
		A14318	TOW CALL	\$267.12
Total EFT000000005746				\$1,213.49
EFT000000005749	7/5/2016		PUROLATOR INC.	
		431570077	COURIER	\$31.36
Total EFT000000005749				\$31.36
EFT000000005754	7/5/2016		ROSEN ENERGY GROUP	
		597922	1314.9L @ \$.9625	\$1,287.86
Total EFT000000005754				\$1,287.86
EFT000000005755	7/5/2016		R. THURSTON TECHNOLOGIES	
		10745	REPEATER TOWER INTERFERENCE	\$86.50
Total EFT000000005755				\$86.50
EFT000000005762	7/5/2016		SUPERIOR PROPANE INC.	
		11704460	INSPECTION 500 GAL TANK	\$96.67
Total EFT000000005762				\$96.67
EFT000000005771	7/5/2016		TURRIS COMMUNICATIONS LTD	
		TCL-152630	BELT CLIP - PAGER	\$13.16
Total EFT000000005771				\$13.16
Total Fire				\$8,716.13

2101 Fire-VF

Cheque	Date	Inv #	Vendor	Description	Amount
067593	7/5/2016	9113454-2016	AIG INSURANCE COMPANY OF CANADA	JULY - DEC VF INSURANCE	\$1,546.59
Total 067593					\$1,546.59
Total Fire-VF					\$1,546.59

2110 Cvc#

Cheque	Date	Inv #	Vendor	Description	Amount
EFT000000005759	7/5/2016	2939	SIGNS PLUS	12 CIVIC NUMBER SIGNS	\$109.91
Total EFT000000005759					\$109.91
Total Cvc#					\$109.91

2400 Police

Cheque	Date	Inv #	Vendor	Description	Amount
067618	7/5/2016	17100616047	MINISTER OF FINANCE-POLICE SERVICES	JUNE POLICE SERVICES	\$244,876.00
Total 067618					\$244,876.00
Total Police					\$244,876.00

Township of South Frontenac CHEQUE DISTRIBUTION REPORT

2605 Build

Cheque	Date	Inv #	Vendor	Description	Amount
EFT000000005735	7/5/2016	847118783	KAL TIRE ONTARIO	OIL CHANGE	\$52.44
Total EFT000000005735					\$52.44
Total Build					\$52.44

2620 Anml Ctl

Cheque	Date	Inv #	Vendor	Description	Amount
EFT000000005726	7/5/2016	SF-AC-2016-JUNE	FRONTENAC MUNICIPAL LAW	JUNE ANIMAL CONTROL SERVICES	\$3,256.19
Total EFT000000005726					\$3,256.19
EFT000000005752	7/5/2016	15-039	RIVOIRE, THOMAS R	TWP VS DOYLE	\$1,076.11
Total EFT000000005752					\$1,076.11
Total Anml Ctl					\$4,332.30

2625 Lvstck

Cheque	Date	Inv #	Vendor	Description	Amount
EFT000000005751	7/5/2016		REDDEN, JOSEPH		
		16/06/13-KIER-CALF		16/06/13-COLIN KIER - CALF	\$50.00
		16/06/13-KIER-CALF		50 KMS @ \$.55	\$24.76
		16/06/07-CUMPSON		16/06/07-CUMPSON-SHEEP	\$50.00
		16/06/07-CUMPSON		52 KMS @ \$.55	\$25.75
		16/06/09-J P LALONDE		16/06/09-J P LALONDE-SHEEP	\$50.00
		16/06/09-J P LALONDE		22 KMS @ \$.55	\$10.89
		16/06/10-GARRETT		16/06/10-GARRETT-LAMB	\$50.00
		16/06/10-GARRETT		72 KMS @ \$.55	\$35.67
Total EFT000000005751					\$297.07
Total Lvstck					\$297.07

2640 Bylaw enf

Cheque	Date	Inv #	Vendor	Description	Amount
EFT000000005726	7/5/2016	SF-P-2016-JUNE	FRONTENAC MUNICIPAL LAW	20 HRS @ \$22.50	\$457.92
		SF-P-2016-JUNE		1200 KMS @ \$.52	\$634.98
Total EFT000000005726					\$1,092.90
Total Bylaw enf					\$1,092.90
Total PP&P					\$261,023.34

30 Trans

3000 PW OH

Cheque	Date	Inv #	Vendor	Description	Amount
067594	7/5/2016		ANTRIM TRUCK CENTRE LTD.		
			STOCK NO. HY8610	FT16 - 2000 STERLING 40804	-\$3,052.80
Total 067594					-\$3,052.80
EFT000000005733	7/5/2016	41346	INDEPENDENT TELEPHONE SERVICES	EXTENSION RELOCATION	\$45.79
Total EFT000000005733					\$45.79
Total PW OH					-\$3,007.01

3005 RdAdmOH

Cheque	Date	Inv #	Vendor	Description	Amount
EFT000000005729	7/5/2016	J807606	GRAND & TOY LIMITED	OFFICE SUPPLIES	\$96.96
Total EFT000000005729					\$96.96
EFT000000005772	7/5/2016	157462	TYROUTE COMMUNICATIONS	BATTERY	\$35.61
Total EFT000000005772					\$35.61
Total RdAdmOH					\$132.57

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3010 Cap/Equip/Ptrl

Cheque	Date	Inv #	Vendor	Description	Amount
067591	7/5/2016		407 ETR		
		16/05/04-AC80783		TOLL CHARGES	\$27.08
Total 067591					\$27.08
067594	7/5/2016		ANTRIM TRUCK CENTRE LTD.		
		HY8610		17-16 WESTERN STAR LICENSING	\$1,134.00
		STOCK NO. HY8610		17-16-2017 WESTERN STAR TANDEM	\$262,579.61
Total 067594					\$263,713.61
067601	7/5/2016		BOB MARK NEW HOLLAND SALES LTD		
		10576B		4 TIRES	\$2,493.12
Total 067601					\$2,493.12
067613	7/5/2016		GILBERT & SON CONSTRUCTION INC.		
		035		6 HRS HAMMER RENTAL @ \$230	\$1,404.29
Total 067613					\$1,404.29
067623	7/5/2016		NORR LIMITED		
		0078162		KEELEY OFF RENO APR 1-MAY 31	\$262.54
Total 067623					\$262.54
067624	7/5/2016		O. BETTSCHEN		
		37057		471.20T 3" @ \$7.95	\$3,811.91
		36983		43.58T 3: @ \$7.95	\$352.56
Total 067624					\$4,164.47
067626	7/5/2016		REVELL FORD LINCOLN		
		506017		REPLACE COOLANT RESERVOIR	\$455.17
Total 067626					\$455.17
067629	7/5/2016		SNIDER, PERCY		
		16/06/10-05		8 HRS H/T PATCHING @ \$75	\$610.56
		16/06/10-05		8 HRS FLAGGING @ \$19.75	\$160.78
		16/06/08-02		34.5 HRS H/T PATCHING @ \$75	\$2,633.04
		16/06/08-02		34.5 HRS FLAGGING @ \$19.75	\$693.36
		16/06/09-03		9 HRS H/T PATCHING @ \$75	\$686.88
		16/06/09-03		9 HRS FLAGGING @ \$19.75	\$180.88
Total 067629					\$4,965.50
067631	7/5/2016		TOROMONT INDUSTRIES LTD.		
		PS040642119		HOSE ASSY	\$75.69
Total 067631					\$75.69
EFT000000005705	7/5/2016		AECOM CANADA LTD		
		38242988		16/04/09 - 16/06/10 HSMITH I	\$648.72
		38243025		16/04/09 - 16/06/10 DESIGN	\$16,988.46
Total EFT000000005705					\$17,637.18
EFT000000005709	7/5/2016		BLACK DOG TIRE & LUBRICANTS		
		7910263		TIRE REPAIRS	\$45.79
		7910263		TIRE REPAIRS	\$50.88
		7910263		TIRE REPAIRS	\$20.35
Total EFT000000005709					\$117.02
EFT000000005713	7/5/2016		CINTAS		
		884738399		MAINTENANCE SUPPLIES	\$190.84
		884738399		COVERALLS	\$13.29
		884738399		COVERALLS	\$9.51
		884739958		MAINTENANCE SUPPLIES	\$35.62
		884735344		MAINTENANCE SUPPLIES	\$53.52
		884735347		MAINTENANCE SUPPLIES	\$94.22
		884725798		MAINTENANCE SUPPLIES	\$68.37
		884741475		MAINTENANCE SUPPLIES	\$201.53
		884741475		COVERALLS	\$13.29
		884741475		COVERALLS	\$9.51
		884739951		MAINTENANCE SUPPLIES	\$131.82
		884739951		COVERALLS	\$13.29
		884739951		COVERALLS	\$9.51
Total EFT000000005713					\$844.32
EFT000000005718	7/5/2016		CATARAQUI REGION CONSERVATION		
		SALMON LK CULVERT		PERMIT FEE	\$320.00
		DESERT LK CAUSEWAY		PERMIT FEE	\$320.00
		OTTER LK CULVERT		PERMIT FEE	\$320.00
Total EFT000000005718					\$960.00
EFT000000005719	7/5/2016		CRUICKSHANK CONSTRUCTION		
		90062207		28.42T 3" @ \$7.45	\$215.46
		90061937		433.57T 3" @ \$7.45	\$3,286.88
		90061987		37.98T 5/8" @ \$7.95	\$307.26

Township of South Frontenac CHEQUE DISTRIBUTION REPORT

			90061751	63.56T 3" @ \$7.45	\$481.86
			90061751	24.14T 5/8" @ \$7.95	\$195.30
			90061815	25.72T 3" @ \$7.45	\$195.00
			90061888	242.38T 3" @ \$7.45	\$1,837.54
Total EFT00000005719					\$6,519.30
EFT00000005720	7/5/2016			CUNNINGHAM SWAN CARTY	
		137514		M BABCOCK S/T TWP SFRONTENAC	\$610.56
Total EFT00000005720					\$610.56
EFT00000005724	7/5/2016			EVERTEMP INC	
		29064		SERVICE A/C UNITS	\$204.40
		29064		SERVICE A/C UNITS	\$204.41
Total EFT00000005724					\$408.81
EFT00000005728	7/5/2016			GIN-COR INDUSTRIES INC	
		37655		RE & RE TARP	\$353.76
Total EFT00000005728					\$353.76
EFT00000005734	7/5/2016			JODY CAMPBELL'S SEPTIC SERVICE	
		7203		PORTABLE TOILET RENTAL	\$122.11
		7203		PORTABLE TOILET RENTAL	\$122.11
Total EFT00000005734					\$244.22
EFT00000005735	7/5/2016			KAL TIRE ONTARIO	
		847114058	BALANCE	INVOICE SHORT PAID	\$814.26
		847115827		BRAKE REPAIRS	\$1,439.59
Total EFT00000005735					\$2,253.85
EFT00000005737	7/5/2016			KROWN RUST CONTROL	
		146-134568		RUST CONTROL SPRAY	\$213.70
		146-134568		RUST CONTROL SPRAY	\$213.70
		146-134568		RUST CONTROL SPRAY	\$213.70
		146-134568		RUST CONTROL SPRAY	\$152.64
		146-134568		RUST CONTROL SPRAY	\$127.14
		146-134568		RUST CONTROL SPRAY	\$127.14
		146-134568		RUST CONTROL SPRAY	\$152.64
		146-134568		RUST CONTROL SPRAY	\$213.70
		146-134568		RUST CONTROL SPRAY	\$137.38
		146-134568		RUST CONTROL SPRAY	\$127.15
		146-134568		RUST CONTROL SPRAY	\$213.70
		146-134568		RUST CONTROL SPRAY	\$213.70
		146-134568		RUST CONTROL SPRAY	\$213.70
Total EFT00000005737					\$2,319.99
EFT00000005738	7/5/2016			LEONARD FUELS	
		1057-710290		110.0L @ \$9.726	\$106.63
		1058-710224		84.76L @ \$9.726	\$82.14
		1058-711138		91.02L @ \$9.637	\$87.41
		1058-711649		66.12L @ \$9.637	\$63.50
		1058-711847		87.0L @ \$9.372	\$81.20
		1058-713474		100.31L @ \$9.372	\$93.62
		1058-714637		65.70L @ \$9.372	\$61.32
Total EFT00000005738					\$575.82
EFT00000005739	7/5/2016			LEONARD, ELIZABETH	
		16/06/24-47		4 CLEANS @ \$75	\$300.00
		16/06/17-HOME DEPOT		CLEANING SUPPLIES	\$31.48
Total EFT00000005739					\$331.48
EFT00000005743	7/5/2016			MICHELIN NORTH AMERICA CANADA INC	
		DA0005516109		1 TIRE	\$820.95
Total EFT00000005743					\$820.95
EFT00000005750	7/5/2016			R&D NELSON GENERAL MAINTENANCE	
		15/06 BEDFORD		6 HRS @ \$18.00	\$109.90
		15/06 BEDFORD		MAINTENANCE SUPPLIES	\$53.29
		15/06 PORTLAND		9 HRS @ \$18	\$215.80
Total EFT00000005750					\$378.99
EFT00000005755	7/5/2016			R. THURSTON TECHNOLOGIES	
		10744		REPAIR TWO-WAY RADIO	\$86.50
Total EFT00000005755					\$86.50
EFT00000005756	7/5/2016			RUSSEL METALS INC	
		32204687		HOT ROLL STRUCTURAL ANGLE	\$162.82
Total EFT00000005756					\$162.82
EFT00000005763	7/5/2016			SWEET'S SAND & GRAVEL	
		S-0045187		1589.58T 5/8" @ \$13.95	\$22,564.92
		S-0044990		2792.952T 5/8" @ \$13.95	\$39,644.11
		S-0044990		2158.74T 3" @ \$13.40	\$29,436.24
		S-0045035		496.93T 5/8" @ \$8.75	\$4,424.67

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	S-0044966	24.14T 5/8" @ \$8.75		\$214.95
	S-0045036	128.56T 5/8" @ \$7.75		\$1,013.87
	S-0045188	58.54T 5/8" @ \$8.75		\$521.25
Total EFT000000005763				\$97,820.01
EFT000000005765	7/5/2016		TALLMAN TRUCK CENTRE LIMITED	
	429389		ALTERNATOR & 3 BATTERIES	\$1,318.69
	429295		SAFETY/REPAIRS	\$3,848.36
Total EFT000000005765				\$5,167.05
EFT000000005766	7/5/2016		TEM ROADWORK	
	282456	51.5 HRS H/T PATCHING @ \$80		\$4,192.51
	282456	51.5 HRS FLAGGING @ \$20		\$1,048.13
Total EFT000000005766				\$5,240.64
EFT000000005768	7/5/2016		TROUSDALE'S FOODLAND	
	5821	WATER, CREAM		\$27.64
	5821	WATER		\$24.95
	9759	FILTERS		\$3.04
	9759	COFFEE, SUGAR, CREAM		\$31.16
Total EFT000000005768				\$86.79
EFT000000005769	7/5/2016		TROUSDALE'S HOME HARDWARE	
	60519	BYPASS LOPPER, SHOP TOWELS		\$47.59
	60314	5 TARPS		\$114.93
	60537	FAN RAKE		\$33.57
	59724	CAR FRESHENERS, BATTERIES		\$21.14
	60334	PAINT SUPPLIES		\$55.71
	202695	FLAG		\$15.03
Total EFT000000005769				\$287.97
EFT000000005774	7/5/2016		UNIVERSAL SUPPLY GROUP	
	173-118213	ANTENNA		\$21.39
	896-759125	OIL ABSORBANT		\$140.33
	173-120256	STROBE TUBE		\$39.68
	896-755344	DRIVE BELT		\$18.37
Total EFT000000005774				\$219.77
EFT000000005777	7/5/2016		VERONA HARDWARE LIMITED	
	33974	BROOM & SHOVEL		\$29.49
Total EFT000000005777				\$29.49
EFT000000005778	7/5/2016		WILLIAMS HOT MIX LTD	
	2949	45.09T SAND SEAL @ \$97		\$4,450.70
	2957	51.59T SAND SEAL @ \$97		\$5,092.30
Total EFT000000005778				\$9,543.00
Total Cap/Equip/Ptrl				\$430,581.76

3215 Drainage

Cheque	Date	Inv #	Vendor	Description	Amount
EFT000000005730	7/5/2016		G WILLIAMS PAVING LTD		
		5982		ROAD REPAIRS	\$2,900.16
Total EFT000000005730					\$2,900.16
Total Drainage					\$2,900.16

3310 Hardtop Patching

Cheque	Date	Inv #	Vendor	Description	Amount
EFT000000005778	7/5/2016		WILLIAMS HOT MIX LTD		
		2962		3.05T SAND SEAL @ \$97	\$301.06
		2957		2.21T SAND SEAL @ \$97	\$218.14
		2957		6.68T SAND SEAL @ \$97	\$659.35
Total EFT000000005778					\$1,178.55
Total Hardtop Patching					\$1,178.55

3415 dust layer

Cheque	Date	Inv #	Vendor	Description	Amount
EFT000000005738	7/5/2016		LEONARD FUELS		
		1058-710039		16.22L @ \$1.1140	\$18.39
Total EFT000000005738					\$18.39
EFT000000005744	7/5/2016		MORRIS CHEMICALS INCORPORATED		
		16-527		39,977.89L CALCIUM @ \$.2094	\$8,518.71
		16-468		17141.86L CALCIUM @ \$.2251	\$3,926.54
		16-468		19988.95L CALCIUM @ \$.2094	\$4,259.36

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16-502		19870.32L CALCIUM @ \$.2094		\$4,234.08
16-588		19937.05L CALCIUM @ \$.2094		\$4,248.30
16-633		10046.37L CALCIUM @ \$.2251		\$2,301.24
Total EFT000000005744				\$27,488.23
EFT000000005763	7/5/2016	S-0044971	SWEET'S SAND & GRAVEL 29 HRS WATER TRK @ \$92.50	\$2,729.71
Total EFT000000005763				\$2,729.71
Total dust layer				\$30,236.33

3425 Gradng & Grvl resurf

Cheque	Date	Inv #	Vendor	Description	Amount
067613	7/5/2016	036	GILBERT & SON CONSTRUCTION INC.	5 HRS GRADER RENTAL @ \$100	\$508.80
Total 067613					\$508.80
EFT000000005763	7/5/2016	S-0045182	SWEET'S SAND & GRAVEL	23.60T 5.8" @ \$7.75	\$186.12
Total EFT000000005763					\$186.12
Total Gradng & Grvl resurf					\$694.92

3601 Barricds & Sfty Matls

Cheque	Date	Inv #	Vendor	Description	Amount
067597	7/5/2016	047732	ATKINSON HOME BUILDING CENTRE	SHIELD	\$38.65
Total 067597					\$38.65
Total Barricds & Sfty Matls					\$38.65

3615 Street signs

Cheque	Date	Inv #	Vendor	Description	Amount
067629	7/5/2016	16/06/14-06	SNIDER, PERCY	SIGN INSTALLATION	\$1,336.75
Total 067629					\$1,336.75
EFT000000005759	7/5/2016	2939	SIGNS PLUS	1 - 36' STREET SIGN	\$42.68
Total EFT000000005759					\$42.68
Total Street signs					\$1,379.43

3635 Trffc cnts

Cheque	Date	Inv #	Vendor	Description	Amount
EFT000000005769	7/5/2016	60386	TROUSDALE'S HOME HARDWARE	FUSES	\$4.77
Total EFT000000005769					\$4.77
Total Trffc cnts					\$4.77

3650 Street Lights

Cheque	Date	Inv #	Vendor	Description	Amount
EFT000000005770	7/5/2016	6717	TRUE ELECTRIC	NEW LIGHT & POLE BELLROCK/PARK	\$2,522.68
		6715		STRAIGHTEN LIGHTS	\$1,073.57
Total EFT000000005770					\$3,596.25
Total Street Lights					\$3,596.25

3800 Crssng Guards

Cheque	Date	Inv #	Vendor	Description	Amount
EFT000000005697	6/30/2016	16/06	KEHOE, GENNY LYNN	18 DAYS @ \$30	\$540.00
		16/06		16/06 KEHOE WSIB	\$15.55
Total EFT000000005697					\$555.55
EFT000000005699	6/30/2016	16/06	MACINTYRE, DOUG	3 DAYS @ \$30.00	\$90.00
		16/06		16/06 WSIB MACINTYRE CROSSING	\$2.59
Total EFT000000005699					\$92.59
EFT000000005700	6/30/2016		SNIDER, DEBBIE		

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	16/06	21 DAYS @ \$45.00	\$945.00
	16/06	16/06 SNIDER WSIB	\$27.22
Total EFT000000005700			\$972.22
Total Crssng Guards			\$1,620.36
Total Trans			\$469,356.74

40 Env

4110 Water Treat

Cheque	Date	Inv #	Vendor	Description	Amount
EFT000000005775	7/5/2016	31903	UTILITIES KINGSTON	MAY OPERATING COSTS	\$9,899.82
Total EFT000000005775					\$9,899.82
Total Water Treat					\$9,899.82

5005 SW & Fac OH

Cheque	Date	Inv #	Vendor	Description	Amount
EFT000000005749	7/5/2016	431607903	PUROLATOR INC.	COURIER	\$30.28
Total EFT000000005749					\$30.28
Total SW & Fac OH					\$30.28

5105 Garb coll

Cheque	Date	Inv #	Vendor	Description	Amount
067590	6/30/2016	16/06 16/06	SNIDER, PERCY	16/06 COLLECTION 16/06 COLLECTION	\$11,274.39 \$9,306.49
Total 067590					\$20,580.88
067616	7/5/2016	2016112	KINGSTON TRANSMISSION SERVICES INC	TRANSMISSION CONTROL MODULE	\$1,042.70
Total 067616					\$1,042.70
EFT000000005695	6/30/2016	16/06	1622411 ONTARIO LTD.	16/06 COLLECTION	\$11,517.09
Total EFT000000005695					\$11,517.09
EFT000000005702	7/5/2016	22581	1622411 ONTARIO LTD.	6 HRS @ \$65	\$396.86
Total EFT000000005702					\$396.86
Total Garb coll					\$33,537.53

5110 Gab disp

Cheque	Date	Inv #	Vendor	Description	Amount
067629	7/5/2016	16/06/08-01 16/06/16-04 16/06/16-07	SNIDER, PERCY	17 HRS DOZER @ \$80 8 HRS DOZER @ \$80 4 LOADS GARBAGE	\$1,383.94 \$651.26 \$712.32
Total 067629					\$2,747.52
EFT000000005701	6/30/2016	16/06 DISPOSAL	WHALEY, GEORGE	16/06 DISPOSAL	\$1,935.80
Total EFT000000005701					\$1,935.80
EFT000000005703	7/5/2016	07360258	ABELL PEST CONTROL INC.	PEST CONTROL	\$97.44
Total EFT000000005703					\$97.44
EFT000000005715	7/5/2016	1459	CONTAINERS R US	2-20'L X 8'W X 8.6"H CONTAINER	\$4,477.44
Total EFT000000005715					\$4,477.44
EFT000000005734	7/5/2016	7257 7368 7368 7368 7368 7368	JODY CAMPBELL'S SEPTIC SERVICE	PORTABLE TOILET RENTAL PORTABLE TOILET RENTAL PORTABLE TOILET RENTAL PORTABLE TOILET RENTAL PORTABLE TOILET RENTAL PORTABLE TOILET RENTAL	\$117.02 \$117.02 \$117.02 \$117.02 \$117.02 \$117.02
Total EFT000000005734					\$585.10
EFT000000005748	7/5/2016	647-0000021870	PROGRESSIVE WASTE SOLUTIONS CAN INC	20.01T GARBAGE	\$1,720.63

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Total EFT000000005748					\$1,720.63
EFT000000005767	7/5/2016			TOMLINSON ENVIRONMENTAL SERVICES LANDFILL GRINDING	\$20,025.60
		979			\$20,025.60
Total EFT000000005767					\$20,025.60
Total Gab disp					\$31,589.53

5200 Recyc

Cheque	Date	Inv #	Vendor	Description	Amount
067597	7/5/2016			ATKINSON HOME BUILDING CENTRE SAW BLADES, PINE BOARDS	\$145.00
		047362			\$145.00
Total 067597					\$145.00
EFT000000005759	7/5/2016			SIGNS PLUS 4 RECYCLE STATION SIGNS	\$37.32
		2937			\$37.32
Total EFT000000005759					\$37.32
Total Recyc					\$182.32

5205 Recyc Coll

Cheque	Date	Inv #	Vendor	Description	Amount
067590	6/30/2016			SNIDER, PERCY 16/06 COLLECTION	\$12,162.26
		16/06		16/06 COLLECTION	\$10,605.36
		16/06		16/06 COLLECTION	\$11,320.42
Total 067590					\$34,088.04
EFT000000005695	6/30/2016			1622411 ONTARIO LTD. 16/05 COLLECTION	\$9,907.17
		16/06			\$9,907.17
Total EFT000000005695					\$9,907.17
Total Recyc Coll					\$43,995.21

5210 Rec Disp/Prc

Cheque	Date	Inv #	Vendor	Description	Amount
067629	7/5/2016			SNIDER, PERCY 1 LOAD CON - GREEN BAY	\$330.72
		16/06/08-08			\$330.72
Total 067629					\$330.72
Total Rec Disp/Prc					\$330.72

5305 HHW

Cheque	Date	Inv #	Vendor	Description	Amount
EFT000000005710	7/5/2016			BRENDAR ENVIRONMENTAL INC. HHW DEPOT 4 DAYS @ \$400 MANIFESTS	\$1,628.16
		20160082			\$4,727.77
		20160082			\$6,355.93
Total EFT000000005710					\$6,355.93
Total HHW					\$6,355.93

5320

Cheque	Date	Inv #	Vendor	Description	Amount
067625	7/5/2016			ORBIS CANADA LIMITED 50 COMPOSTERS @ \$35	\$1,780.80
		35501419			\$1,780.80
Total 067625					\$1,780.80
Total					\$1,780.80

Total Env

\$127,702.14

70 Cem

7000 Health

Cheque	Date	Inv #	Vendor	Description	Amount
067622	7/5/2016			NOONAN, MIKE JUNE MOWING	\$309.62
		16/06/30-46			\$309.62
Total 067622					\$309.62
067628	7/5/2016			SHAW'S LANDSCAPING MAY GRASS CUTTING	\$339.19
		3321			\$339.19
Total 067628					\$339.19
EFT000000005696	6/30/2016			D G YOUNGE CONCRETE BURIAL VAULTS	

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	16/06	16/06 SERVICES	\$875.14
Total EFT000000005696			\$875.14
Total Health			\$1,523.95
Total Cem			\$1,523.95

80 Rec

8000 Rec

Cheque	Date	Inv #	Vendor	Description	Amount
067592	7/5/2016		ACME SPORT & PROMOTIONS		
		113402		T-SHIRTS	\$368.13
Total 067592					\$368.13
067606	7/5/2016		CYCLE KINGSTON		
		SFR-2016-1		PROVIDE CYCLING EDUCATION	\$800.00
Total 067606					\$800.00
067611	7/5/2016		FISHER, DAVE		
		16/06/27 - S REC		16/06/27 - S REC	\$30.30
Total 067611					\$30.30
067612	7/5/2016		FRONTENAC DOCKS		
		1630		8 X 20' CEDAR DOCK	\$7,764.29
Total 067612					\$7,764.29
067614	7/5/2016		HOLLAND, TRACY		
		16/06/20 - SF REC		16/06/20 - SF REC	\$30.30
		16/06/20 - SF REC		6.2 KMS @ \$.55	\$3.07
Total 067614					\$33.37
067615	7/5/2016		HOWE, MIKE		
		16/06/20 - SF REC		16/06/20 - SF REC	\$30.30
		16/06/20 - SF REC		10 KMS @ \$.55	\$4.96
Total 067615					\$35.26
067617	7/5/2016		LOYALIST IRRIGATION LIMITED		
		2837		INSTALL PUMP SYSTEM	\$3,728.01
Total 067617					\$3,728.01
067619	7/5/2016		MOREY, PAM		
		16/06/20 - SF REC		16/06/20 - SF REC	\$30.30
		16/06/20 - SF REC		10.6 KMS @ \$.55	\$5.25
Total 067619					\$35.55
067622	7/5/2016		NOONAN, MIKE		
		16/06/30-46		JUNE MOWING	\$592.12
Total 067622					\$592.12
067628	7/5/2016		SHAW'S LANDSCAPING		
		3331		MAY GRASS CUTTING	\$508.80
		3322		MAY GRASS CUTTING	\$169.61
		3334		MAY GRASS CUTTING	\$93.29
		3333		MAY GRASS CUTTING	\$169.61
		3332		MAY GRASS CUTTING	\$169.61
Total 067628					\$1,110.92
067629	7/5/2016		SNIDER, PERCY		
		16/06/15-50		8 HRS TRIAXLE @ \$80	\$651.26
Total 067629					\$651.26
067633	7/5/2016		UNITED RENTALS OF CANADA INC		
		133270344-008		MODULAR FENCE	\$81.41
		134288524-006		MODULAR FENCE	\$915.84
Total 067633					\$997.25
EFT000000005698	6/30/2016		LEONARD, ELIZABETH		
		16/06		16/06 MAINTENANCE	\$142.50
Total EFT000000005698					\$142.50
EFT000000005707	7/5/2016		ASSELSTINE HARDWARE		
		3013		CORN BROOM	\$9.15
		3028		SAW BLADE, BOLTS	\$18.42
Total EFT000000005707					\$27.57
EFT000000005708	7/5/2016		BELL, DAN		
		16/06/20 - SF REC		16/06/20 - SF REC	\$30.30
		16/06/20 - SF REC		15 KMS @ \$.55	\$7.43
Total EFT000000005708					\$37.73
EFT000000005711	7/5/2016		CAMPBELL, ANNIE		
		16/06/27 - S REC		16/06/27 - S REC	\$30.30
Total EFT000000005711					\$30.30

Township of South Frontenac CHEQUE DISTRIBUTION REPORT

EFT000000005723	7/5/2016	ERLICHMAN, WOLFE	
		16/06/20 - SF REC	\$30.30
		16/06/20 - SF REC	\$37.14
		16/06/20 - SF REC	75 KMS @ \$.55
Total EFT000000005723			\$67.44
EFT000000005724	7/5/2016	EVERTEMP INC	
		29026	\$98.77
		29025	\$220.29
		29067	\$373.64
		29065	\$224.62
		29068	\$311.24
Total EFT000000005724			\$1,228.56
EFT000000005725	7/5/2016	FOX, KEVIN	
		16/06/20 - SF REC	\$30.30
		16/06/20 - SF REC	64 KMS @ \$.55
		16/06/27 - S REC	\$30.30
Total EFT000000005725			\$92.30
EFT000000005734	7/5/2016	JODY CAMPBELL'S SEPTIC SERVICE	
		7256	\$117.02
		7255	\$101.76
		7254	\$101.76
		7253	\$101.76
Total EFT000000005734			\$422.30
EFT000000005736	7/5/2016	KOT, JOHN	
		16/06/27 - S REC	\$30.30
Total EFT000000005736			\$30.30
EFT000000005742	7/5/2016	MCNICHOLS CONSTRUCTION LTD	
		16/06/06-RAMP	\$90.06
Total EFT000000005742			\$90.06
EFT000000005745	7/5/2016	PANTREY, AMANDA	
		16/06/27 - S REC SEC	\$65.00
Total EFT000000005745			\$65.00
EFT000000005747	7/5/2016	PRINTFUSION INC.	
		78176	\$145.52
Total EFT000000005747			\$145.52
EFT000000005750	7/5/2016	R&D NELSON GENERAL MAINTENANCE	
		15/05-15/06 LIBRARY	\$549.50
		15/05-15/06 LIBRARY	\$549.50
		15/05-15/06 LIBRARY	\$163.12
		15/05 15/06 GLENDWR	\$366.34
		15/05 15/06 GLENDWR	\$134.91
Total EFT000000005750			\$1,763.37
EFT000000005753	7/5/2016	ROLLINS, ELLWOOD	
		16/06/27 - S REC	\$30.30
Total EFT000000005753			\$30.30
EFT000000005758	7/5/2016	SHEA CONSTRUCTION	
		1500545	\$3,056.87
Total EFT000000005758			\$3,056.87
EFT000000005759	7/5/2016	SIGNS PLUS	
		2940	\$187.91
		2942	\$211.66
		2941	\$51.90
		2941	\$116.01
		2941	\$58.00
		2941	\$58.00
Total EFT000000005759			\$683.48
EFT000000005760	7/5/2016	SLEETH, SARAH	
		16/06/24-08	\$280.00
		16/06/24-08	\$40.00
		16/06/24-08	\$30.00
Total EFT000000005760			\$350.00
EFT000000005761	7/5/2016	SMITH, ROBERTA	
		16/06/27 - S REC	\$30.30
Total EFT000000005761			\$30.30
EFT000000005762	7/5/2016	SUPERIOR PROPANE INC.	
		11704459	\$224.21
Total EFT000000005762			\$224.21
EFT000000005764	7/5/2016	SWISH MAINTENANCE LIMITED	
		K548428	\$98.55
		K548428	\$40.29
Total EFT000000005764			\$138.84

Township of South Frontenac CHEQUE DISTRIBUTION REPORT

EFT000000005769 7/5/2016

TROUSDALE'S HOME HARDWARE

59425	2 - 2 X 6 X 14' SIENNA			\$10.23
60635	2 - 2 X 10 X 12' SIENNA			\$47.60
60586	35 SIENNA			\$653.96
202631	1 - 2 X 6 X 8' SIENNA			\$8.13
60608	CHAIN,BOLTS,WASHERS,CEMENT			\$409.25
60581	QUICK LINKS			\$8.92
60373	PINES BOARDS, BOLTS, WASHERS			\$42.34
60758	RUST PAINT, CUTTERS			\$35.07
60756	LED LAMPS			\$19.32
60638	PAINT SUPPLIES			\$55.76
60528	DUCT TAPE, FASTENERS			\$24.10
60426	MOSQUITO REPELLANT			\$20.34
202695	2 FLAGS			\$30.06
202695	FLAG			\$15.03
60776	SCREW LAG EYE			\$2.53
202874	3 2 X 8 X 10' SIENNA			\$46.16
60647	LINE MARKING POWDER			\$86.44
Total EFT000000005769				\$1,515.24

EFT000000005770 7/5/2016

TRUE ELECTRIC

6714	POWER SUPPLY FOR WATER PUMP			\$4,763.39
Total EFT000000005770				\$4,763.39

EFT000000005776 7/5/2016

VANDEWAL, SARAH

16/06/20 - SF REC SE	16/06/20 - SF REC SECRETARY			\$65.00
16/06/20 - SF REC SE	7.8 KMS @ \$.55			\$3.87
Total EFT000000005776				\$68.87

EFT000000005779 7/5/2016

WOOD, ALVIN

16/06/20 - SF REC	16/06/20 - SF REC			\$30.30
16/06/20 - SF REC	44 KMS @ \$.55			\$21.80
16/06/27 - S REC	16/06/27 - S REC			\$30.30
Total EFT000000005779				\$82.40

Total Rec **\$31,233.31**

8020 Swim

Cheque	Date	Inv #	Vendor	Description	Amount
067596	7/5/2016		AQUAM SPECIALISTE AQUATIQUE INC.		
		235922		SWIM PROGRAM SUPPLIES	\$401.96
		235922		SWIM PROGRAM SUPPLIES	\$159.51
		235922		SWIM PROGRAM SUPPLIES	\$76.56
Total 067596					\$638.03
EFT000000005712	7/5/2016		CANADIAN RED CROSS SOCIETY		
		IN00330104		SWIM BADGES, PROGRESS CARDS	\$313.42
		IN00330104		SWIM BADGES, PROGRESS CARDS	\$235.07
		IN00330104		SWIM BADGES, PROGRESS CARDS	\$235.07
Total EFT000000005712					\$783.56
Total Swim					\$1,421.59

8025 Day Cmps

Cheque	Date	Inv #	Vendor	Description	Amount
067637	7/5/2016		DARKE, DEBORAH		
		DCSGE-REFUND		DCSG3 - REFUND OVERPAYMENT	\$23.00
Total 067637					\$23.00
Total Day Cmps					\$23.00

8030 Cda Day

Cheque	Date	Inv #	Vendor	Description	Amount
067595	7/5/2016		A PARTY CENTRE		
		CONTRACT 52052 BAL		TENT & CHAIRS	\$124.66
Total 067595					\$124.66
067607	7/5/2016		ELLIOTT, HANNAH		
		2016 CANDAY POSTER		CANADA DAY POSTER	\$45.00
Total 067607					\$45.00
067609	7/5/2016		ESKEROD SIGNS		
		27186		NEW BANNER - CANADA DAY	\$311.39
Total 067609					\$311.39
067610	7/5/2016		FIREWORKS FX INC		
		29355		LITE-ROPE TRI-COLOUR	\$119.94

Township of South Frontenac CHEQUE DISTRIBUTION REPORT

		29387	CUSTOM FIREWORKS DISPLAY	\$6,303.72
		29385	CUSTOM FIREWORKS DISPLAY	\$5,088.00
		29386	CUSTOM FIREWORKS DISPLAY	\$9,158.40
Total 067610				\$20,669.16
067620	7/5/2016		MURPHY, RHIANNON	
			2016 CANDAY POSTER	\$45.00
			CANADA DAY POSTER	\$45.00
Total 067620				\$45.00
EFT000000005779	7/5/2016		WOOD, ALVIN	
			2016-FACE PAINTING	\$114.92
			FACE PAINTING SUPPLIES	\$114.92
Total EFT000000005779				\$114.92
Total Cda Day				\$21,310.13

8210 VCA

Cheque	Date	Inv #	Vendor	Description	Amount
067597	7/5/2016		ATKINSON HOME BUILDING CENTRE		
		049164 - VCA		2 - 6X6X14 MICRO PRO SIENNA	\$106.54
		049476		PARTS FOR ELECTRONIC SIGN	\$7.63
Total 067597					\$114.17
067598	7/5/2016		BATES, DON		
		2016026		CASH ADVANCE VCA ADMIN	\$90.06
Total 067598					\$90.06
067599	7/5/2016		BATES, LINDA		
		2016019		REPLACEMENT BARRELS-CONTEST	\$255.29
		2016029		CASH FOR MUSIC IN THE PARK	\$900.00
Total 067599					\$1,155.29
067603	7/5/2016		COLEMAN, DONALD		
		2016023		SHUTTLE BUS DRIVER	\$100.00
		2016023		CASH ADVANCE - ADMINISTRATION	\$450.27
		2016020		TEA & COFFEE FOR MEETING	\$20.54
Total 067603					\$570.81
067627	7/5/2016		REYNOLDS, LEITA		
		2016021		RENTAL OF STORAGE SPACE	\$200.00
Total 067627					\$200.00
067634	7/5/2016		UTG DIGITAL MEDIA		
		INV-104		DEPOSIT FOR ELECTRONIC SIGN	\$15,055.20
Total 067634					\$15,055.20
067635	7/5/2016		VELEY, LARRY		
		2016022		RENTAL OF FIELDS FOR PARKING	\$300.00
Total 067635					\$300.00
EFT000000005716	7/5/2016		CONWAY, WAYNE		
		2016025		LUNCH FOR SETUP VOLUNTEERS	\$56.87
		2016030		FOOD FOR DINNERS	\$152.09
Total EFT000000005716					\$208.96
Total VCA					\$17,694.49

8220 VMC

Cheque	Date	Inv #	Vendor	Description	Amount
EFT000000005741	7/5/2016		MCDOUGALL, JOHN		
		2016016-WHIG AD		DEMPSEY RETIREMENT AD	\$122.11
Total EFT000000005741					\$122.11
Total VMC					\$122.11

Total Rec

\$71,804.63

90 Plan

9000 Plan

Cheque	Date	Inv #	Vendor	Description	Amount
067592	7/5/2016		ACME SPORT & PROMOTIONS		
		113402		T- SHIRTS	\$37.22
Total 067592					\$37.22
EFT000000005768	7/5/2016		TROUSDALE'S FOODLAND		
		374		CREAM	\$5.38
		8108		DRINKS FOR CHINESE PLANNERS	\$14.36
Total EFT000000005768					\$19.74

Township of South Frontenac CHEQUE DISTRIBUTION REPORT

Total Plan **\$56.96**

Total Plan **\$56.96**

99

9999

Cheque	Date	Inv #	Vendor	Description	Amount
EFT000000005714	7/5/2016	196737	COLLINS SAFETY INC.	J BRASH BOOT ALLOWANCE	\$205.67
Total EFT000000005714					\$205.67
EFT000000005731	7/5/2016	6 4 12700 REFUND	HARBISON, BRIAN	6 4 12700 REFUND	\$135.92
Total EFT000000005731					\$135.92
Total					\$341.59
Total					\$341.59
Total					\$2,282,478.60



STAFF REPORT TREASURY DEPARTMENT

Prepared for Council: June 27, 2016

Agenda Date: July 5, 2016

SUBJECT:

Annual Repayment Limit in respect to long-term debt and financial obligations

RECOMMENDATION:

This report is for information only.

BACKGROUND:

On a yearly basis, the Ministry of Municipal Affairs and Housing reports on the Township's Annual Repayment Limit (ARL) in respect to long-term debt and financial obligations. The ARL is based on 25% of the Township's net own source revenues reported in the Financial Information Return (FIR).

As per our reserve policy, the Township's preference for funding capital projects is to save for large projects to avoid debt financing where practical.

ANALYSIS:

For the year 2016, the Township's ARL is \$4,708,242. This is based on 25% of the net own source revenues reported in our 2014 FIR.

As an example, borrowing at a rate of 5%, the ARL would allow the Township to undertake long-term borrowing over 20 years in the amount of \$58,675,096.

In 2015, the Township's ARL was \$4,182,869. Using the similar example of borrowing at a rate of 5% over 20 years, this ARL would have allowed to undertake borrowing of \$52,127,796.

Attachment:

MMAH 2016 Annual Repayment Limit

Submitted/approved by:
Louise Fragnito, Treasurer

Prepared by:
Louise Fragnito, Treasurer

2016 ANNUAL REPAYMENT LIMIT

(UNDER ONTARIO REGULATION 403 / 02)

MMAH CODE:	46619	FIR CLEAN FLAG:	F
MUNID:	10013		
MUNICIPALITY:	South Frontenac Tp		
UPPER TIER:	Frontenac Co		
REPAYMENT LIMIT:		\$	4,708,242

The repayment limit has been calculated based on data contained in the 2014 Financial Information Return, as submitted to the Ministry. This limit represents the maximum amount which the municipality had available as of December 31, 2014 to commit to payments relating to debt and financial obligation. Prior to the authorization by Council of a long term debt or financial obligation, this limit must be adjusted by the Treasurer in the prescribed manner. The limit is effective January 01, 2016.

FOR ILLUSTRATION PURPOSES ONLY,

The additional long-term borrowing which a municipality could undertake over a 5-year, a 10-year, a 15-year and a 20-year period is shown.

If the municipalities could borrow at 5% or 7% annually, the annual repayment limits shown above would allow it to undertake additional long-term borrowing as follows:

5% Interest Rate

(a)	20 years @ 5% p.a.	\$	58,675,096
(a)	15 years @ 5% p.a.	\$	48,869,937
(a)	10 years @ 5% p.a.	\$	36,355,793
(a)	5 years @ 5% p.a.	\$	20,384,222

7% Interest Rate

(a)	20 years @ 7% p.a.	\$	49,879,178
(a)	15 years @ 7% p.a.	\$	42,882,259
(a)	10 years @ 7% p.a.	\$	33,068,718
(a)	5 years @ 7% p.a.	\$	19,304,720

DETERMINATION OF ANNUAL DEBT REPAYMENT LIMIT

(UNDER ONTARIO REGULATION 403/02)

MUNICIPALITY:

South Frontenac Tp

MMAH CODE:

46619

Debt Charges for the Current Year

		1	\$
0210	Principal (SLC 74 3099 01)	17,307	
0220	Interest (SLC 74 3099 02)	20,689	
0299	Subtotal	37,996	
0610	Payments for Long Term Commitments and Liabilities financed from the consolidated statement of operations (SLC 42 6010 01)	0	
9910	Total Debt Charges	37,996	

Amounts Recovered from Unconsolidated Entities

		1	\$
1010	Electricity - Principal (SLC 74 3030 01)	0	
1020	Electricity - Interest (SLC 74 3030 02)	0	
1030	Gas - Principal (SLC 74 3040 01)	0	
1040	Gas - Interest (SLC 74 3040 02)	0	
1050	Telephone - Principal (SLC 74 3050 01)	0	
1060	Telephone - Interest (SLC 74 3050 02)	0	
1099	Subtotal	0	
1410	Debt Charges for Tile Drainage/Shoreline Assistance (SLC 74 3015 01 + SLC 74 3015 02)	2,065	
1411	Provincial Grant funding for repayment of long term debt (SLC 74 3120 01 + SLC 74 3120 02)	0	
1412	Lump sum (balloon) repayments of long term debt (SLC 74 3110 01 + SLC 74 3110 02)	0	
1420	Total Debt Charges to be Excluded	2,065	
9920	Net Debt Charges	35,931	

Excluded Revenue Amounts

		1	\$
1610	Total Revenues (Sale of Hydro Utilities Removed) (SLC 10 9910 01)	24,112,225	
2010	Fees for Tile Drainage / Shoreline Assistance (SLC 12 1850 04)	331	
2210	Ontario Grants, including Grants for Tangible Capital Assets (SLC 10 0699 01 + SLC 10 0810 01 + SLC10 0815 01)	1,729,343	
2220	Canada Grants, including Grants for Tangible Capital Assets (SLC 10 0820 01 + SLC 10 0825 01)	0	
2225	Deferred revenue earned (Provincial Gas Tax) (SLC 10 830 01)	0	
2226	Deferred revenue earned (Canada Gas Tax) (SLC 10 831 01)	1,336,140	
2230	Revenue from other municipalities including revenue for Tangible Capital Assets (SLC 10 1098 01 + SLC 10 1099 01)	842,683	
2240	Gain/Loss on sale of land & capital assets (SLC 10 1811 01)	34,060	
2250	Deferred revenue earned (Development Charges) (SLC 10 1812 01)	211,431	
2251	Deferred revenue earned (Recreation Land (The Planning Act)) (SLC 10 1813 01)	167,426	
2252	Donated Tangible Capital Assets (SLC 53 0610 01)	0	
2253	Other Deferred revenue earned (SLC 10 1814 01)	814,121	
2254	Increase / Decrease in Government Business Enterprise equity (SLC 10 1905 01)	0	
2299	Subtotal	5,135,204	
2410	Fees and Revenue for Joint Local Boards for Homes for the Aged	0	
2610	Net Revenues	18,976,690	
2620	25% of Net Revenues	4,744,173	
9930	ESTIMATED ANNUAL REPAYMENT LIMIT	4,708,242	
	(25% of Net Revenues less Net Debt Charges)		

* SLC denotes Schedule, Line Column.



STAFF REPORT TREASURY DEPARTMENT

Prepared for Council: June 28, 2016

Agenda Date: July 5, 2016

SUBJECT:

Changes to Development Charges reporting requirements

RECOMMENDATION:

This report is for information only.

BACKGROUND:

Bill 73 (Smart Growth for our Communities Act, 2015) amendments to the Development Charges Act (DCA), 1997 came into force on January 1, 2016. The Ministry of Municipal Affairs and Housing (MMAH) states that the legislation aims to “help municipalities recover more costs for growth-related infrastructure and enhance transparency and accountability”. The recent changes incorporate several new requirements including additional reporting to Council in relation to the year-end development charges reserve.

Currently, the year-end reserve schedule provides opening, closing and transactions related to the fund but it is now required that the statement identify all assets whose capital costs were funded under a development charge by-law during the year and how the remainder of the asset was funded. This statement also needs to be made available to the public.

ANALYSIS:

Below is a summary of the information initially provided on the development charges reserve with the year-end financial statements:

	2015	BALANCE AT BEGINNING OF YEAR	CONTRIBUTION FROM		CONTRIBUTION TO	BALANCE AT END OF YEAR
			DEVELOPERS	INTEREST	CAPITAL FUND	
Development Charges		1,837,969.61	330,737.20	23,469.22	200,000.00	1,992,176.03

To meet the new requirements, the reporting will be changed to the format attached. Further, a breakdown of the specific functions within the reserve is also being provided.

Attachment:

Development charges reporting – new format

**Submitted/approved by:
Louise Fragnito, Treasurer**

**Prepared by:
Louise Fragnito, Treasurer**

**SOUTH FRONTENAC TOWNSHIP
DECEMBER 31 2015**

**Development Charge Reserve Fund
allocated per provisions of former & current by-laws**

	<i>BALANCE AT BEGINNING OF YEAR</i>	<i>New By-Law Developer Contributions %</i>	<i>Commercial & Industrial Developer Contributions %</i>	<i>Subtotal</i>	<i>Interest</i>	<i>Transfers to Revenue & Capital Fund</i>	<i>BALANCE AT END OF YEAR</i>		
General Government	88.33	2.160%	6,797.89	2.28%	365.26	7,251.48	78.47	7,329.95	
Fire Services	247,446.42	8.100%	25,492.09	8.810%	1,411.36	274,349.87	2,968.95	277,318.82	
Recreation	185,790.16	1.400%	4,406.04			190,196.20	2,058.26	192,254.46	
Landfill	6,283.14					6,283.14	67.99	6,351.13	
Public Works-Roads, Bridges and Equipment	1,304,445.92	82.020%	258,131.05	83.550%	13,384.71	1,575,961.68	17,054.68	-200,000.00	1,393,016.36
Library	49,611.79	0.780%	2,454.79			52,066.58	563.45	52,630.03	
Police	44,303.85	5.540%	17,435.34	5.360%	858.67	62,597.86	677.42	63,275.28	
Sub-total	1,837,969.61	100.000%	314,717.20	100.000%	16,020.00	2,168,706.81	23,469.22	-200,000.00	1,992,176.03

Breakdown of asset(s) funded from Development Charges

	Project Cost	Development Charges	County FGT	OCIF Grant	Taxation
Yarker Road	1,303,311	200,000	455,252	109,279	538,780



STAFF REPORT TREASURY DEPARTMENT

Prepared for Council: June 28, 2016

Agenda Date: July 5, 2016

SUBJECT:

2016 student funding

RECOMMENDATION:

This report is for information only.

BACKGROUND:

In prior years, student funding could be applied through various organizations such as KEYS, Rural Summer Jobs and Canada Summer Jobs. For 2016, these programs were all amalgamated into the Canada Summer Jobs with a new assessment system.

As with every other year, the Township applied including all summer student positions within the Township. An amount of \$16,600 was budget for 2016 which is broken down as follows:

Public Works	\$4,500
Facilities & SW	3,600
Swim/Day Camps	7,500
Treasury	<u>1,000</u>
Total	16,600

In late May, we were advised by Canada Summer Jobs that we were unsuccessful in receiving any funding. In talking to other area municipalities, many who had previously received funding also did not receive funding or received a significant reduction in funding.

We did apply for funding through the Ontario Summer Experience program and were successful in receiving funding in the amount of \$2,875. This was unbudgeted and will help to offset the funding shortfall under Recreation.

The funding shortfall was discussed with the affected managers and for all areas, the shortfall will be compensated within their department throughout various budget lines.

Submitted/approved by:
Louise Fragnito, Treasurer

Prepared by:
Louise Fragnito, Treasurer



STAFF REPORT PUBLIC WORKS DEPARTMENT

PREPARED FOR COUNCIL: June 28, 2016

AGENDA DATE: July 5, 2016

SUBJECT:

PW-2016-23 Tender to replace Salmon Lake Road culvert

RECOMMENDATION:

For information only.

BACKGROUND:

A tender for the replacement of the Salmon Lake Road culvert was prepared and advertised on the Municipal website, on Biddingo, and in the local newspaper. This tender closed on June 22nd, 2016.

The results, in ascending order, were as follows:

<u>Supplier</u>	<u>Price (Excl. HST)</u>
Crain's Construction Ltd.	\$331,969.00
Whites Landscaping and Excavating	\$396,918.00
AECON	\$438,924.08
K. Mulrooney Trucking	\$499,904.50
Titanium Contracting Inc.	\$529,840.70
H.R. Doornekamp	\$540,108.30
Cruickshank Construction Ltd.	\$700,000.00

The submission of the low bidder has been evaluated and was found to be accurate and complete. Crain's Construction Ltd. is a reputable contractor with many years of experience in construction including culvert replacement.

For these reasons, and also because their price was \$64,949.00 lower than the bid from Whites Landscaping and Excavating, the Public Works Department, under delegated authority, has awarded the tender to Crains Construction Ltd., for \$375,124.97 including HST.

FINANCIAL/STAFFING IMPLICATIONS:

An Amount of \$750,000.00 was approved in the 2016 Capital Budget for the design and replacement of the Salmon Lake culvert.

Submitted/approved by:

Mark Segsworth, P. Eng.
Public Works Manager

Prepared By:

David Holliday, CET
Area Supervisor



TOWNSHIP OF SOUTH FRONTENAC

P.O. Box 100
4432 George Street
Sydenham, Ontario, K0H 2T0

Telephone 376-3027 / 1-800-559-5862
FAX (613) 376-6657
E-mail: worr@southfrontenac.net

June 23, 2016

Honourable Justin Trudeau
Prime Minister of Canada
House of Commons
Ottawa, Ontario
K1A 0A6

Dear Prime Minister:

Re: Re-Establishment of Prison Farms

At their meeting held June 21, 2016, the Council of the Township of South Frontenac approved the following resolution:

"That Council supports the re-establishment of the Prison Farm Program and that this be communicated to the applicable parties Carried."

The Pen Farm Herd Co-op, long-time supporters of a federal prison farm program in Kingston, are looking to see the program re-established. It is our understanding that your government has made a commitment to reopen the operation. The Co-op has developed a business plan that has already received preliminary approval from your government and Public Safety Minister Ralph Goodale is aware of the co-op's work.

We look forward to receiving updates on any action taken on this initiative.

Yours sincerely


Wayne Orr
Chief Administrative Officer

c.c. Honourable Ralph Goodale, Minister of Public Safety

WO:am

From: Promm, Carina [<mailto:prommc@limestone.on.ca>]
Sent: June-07-16 9:04 AM
To: Lindsay Mills; Jennie Kapusta
Cc: Wayne Orr; Ron Vandewal
Subject: Thank-you!

Dear Mr. Mills and Miss. Kapusta,

I wanted to send you a heart-felt thanks for the taking the time out of your busy day last Wednesday to do a presentation to my grade 9 Geography class from Ernestown Secondary School. Your extensive knowledge and experience in planning tied in so perfectly with our curriculum. Being in the Counsel Chamber, and interacting with you both, really brought a very hands-on approach to learning that is hard create within the confines of a traditional classroom. The students have really been encouraged to think about further education in geography related fields like GIS, and urban planning.

Here's a few comments from the students:

"It was very eye-opening and educational."

"The presentation was interesting and the representatives were very friendly."

"It was so nice that they took that time to spend with us."

The effort you put into our trip really opened their minds and brightened their day.

With much gratitude,

Carina Promm
Secondary Teacher
Ernestown Secondary School



Township of North Frontenac

6648 Road 506
P.O. Box 97, Plevna, Ontario K0H 2M0
Tel: (613) 479-2231 or 1-800-234-3953, Fax: (613) 479-2352
www.northfrontenac.ca

May 27, 2016

Ministry of Health and Long-Term Care
5775 Yonge Street – 16th Floor
Toronto, Ontario
M7A 2E5

Attention: Hon. Dr. Eric Hoskins, Minister of Health and Long-Term Care

Dear Hon. Dr. Hoskins:

Re: Requesting Support With Regards to Responding to Medical Calls

North Frontenac Fire Departments are responding to increasing medical calls due to ambulances not being available or delayed. The Departments are experiencing continually rising costs of core services.

Council feels that financial support should be provided by the province to support North Frontenac Fire Department when they are responding to medical calls.

If you have any questions or concerns, please do not hesitate to contact me.

Yours truly,

Ron Higgins

Mayor, North Frontenac
Councillor, County of Frontenac
Phone (613) 884-9736
Email ron.higgins@xplornet.com

c.c. Premier of Ontario, the Office of the Fire Marshall, the Rural Mayors Forum of Eastern Ontario; and All Municipalities.

**Ministry of
Municipal Affairs**

**Ministère des
Affaires Municipales**

Ministry of Housing

Ministère du Logement

Business
Management Division
17th Floor, 777 Bay Street
Toronto ON M5G 2E5
Tel.: 416 585-6670
Fax: 416 585-6191

Division de la gestion des
activités ministérielles
17^e étage, 777, rue Bay
Toronto ON M5G 2E5
Tél. : 416 585-6670
Télééc. : 416 585-6191



DATE: June 27, 2016

TO: Municipal Clerks

FROM: Jim Cassimatis
Assistant Deputy Minister, Business Management Division

RE: **Proposed amendments to the Residential Tenancies Act, 2006 (RTA)**

This is a follow up to the letter sent by the former Minister of Municipal Affairs and Housing, Ted McMeekin, to all heads of council May 18, 2016, regarding the introduction of Bill 204, the Promoting Affordable Housing Act, 2016. The Minister's letter detailed proposed Planning Act changes that support strategies to increase housing choices and the supply of affordable housing in Ontario communities through inclusionary zoning.

This omnibus Bill also includes proposed amendments to other legislation. Schedule 5 of Bill 204 proposes amendments to the Residential Tenancies Act, 2006 (RTA). If passed, these changes would make local enforcement of residential rental maintenance standards more consistent across the province.

Most municipalities now enforce property standards by-laws that protect tenants in rental housing. Some municipalities, however, rely on provincial enforcement of rental maintenance standards under the RTA.

Bill 204 proposes to harmonize this system of local and provincial enforcement by ending provincial enforcement of residential rental maintenance standards. Enforcement responsibility would be transferred to remaining municipalities that do not have complete property standards by-laws. Specifically, the affected municipalities:

- i) do not have a property standards by-law, or
- ii) have a property standards by-law, which applies only to the exterior of rental buildings, or
- iii) have a property standards by-law, which applies only to some areas within the municipality.

It is currently proposed that these municipalities would assume enforcement responsibilities on July 1, 2018.

The tables in the attached package reflect information the ministry holds for each municipality regarding their property standards by-law. Please review this list to determine whether the information on your municipality is correct. If not, please contact your local Municipal Services Office to update your information. (See attached contact list.)

.../2

If your municipality does not currently enforce residential rental maintenance standards (i.e. your municipality is listed in Table 1 or 2 in the attached information package), your municipality would need to consider how it will deliver enforcement services by July 1, 2018.

Municipalities listed in Table 3 in the attached package would likely not be affected, based on property standards by-law information available to the ministry. However, these municipalities should verify that ministry information regarding their property standards by-law is correct.

The proposed amendments would provide affected municipalities with options on how they can approach enforcement. These options are explained in the attached information package.

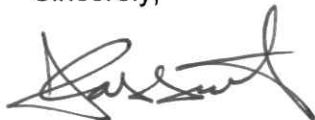
It is important to note the province has conducted a limited number of inspections in recent years. The tables in the enclosed information package break down the number of provincial inspections carried out over the past three years by municipality. The majority of municipalities have not had any inspections over the past three years.

Further details of the proposed legislative change and enforcement options for municipalities affected are attached. You can obtain a copy of Bill 204 – the Promoting Affordable Housing Act, 2016 and monitor the status of the Bill through the legislative process on the [Legislative Assembly of Ontario](#) website.

If the proposed amendments are enacted, the ministry will help municipalities prepare for implementation. We will partner with municipal stakeholder groups to develop training and capacity-building plans. These plans would draw upon existing best practices and shared services approaches used throughout the province.

For more information on the proposed amendments, you may contact your local Municipal Services Office. (See attached contact list.)

Sincerely,



Jim Cassimatis
Assistant Deputy Minister

Attachments enclosed

- c: Pat Vanini, Executive Director – Association of Municipalities of Ontario
- Monika Turner, Policy Center Director – Association of Municipalities of Ontario
- Steph Palmateer, President - Association of Municipal Managers, Clerks and Treasurers of Ontario
- Italo Joe Luzi, President – Ontario Association of Property Standards Officers

INFORMATION PACKAGE

PROPOSED AMENDMENTS TO THE RESIDENTIAL TENANCIES ACT, 2006: ENFORCEMENT OF RESIDENTIAL RENTAL MAINTENANCE STANDARDS

1. RESIDENTIAL RENTAL MAINTENANCE STANDARDS ENFORCEMENT IN ONTARIO

Enforcement responsibility for residential rental maintenance standards is currently shared between the province and municipalities. Most of the 414 lower and single-tier municipalities in Ontario enforce property standards by-laws that include residential rental maintenance standards.

Some municipalities do not have a property standards by-law, or have a “partial” by-law that does not address the interior of rental buildings, or has standards that do not apply in all areas of the municipality. The Ministry of Housing enforces residential rental maintenance standards in these municipalities.

The following chart summarizes the types of municipal property standards by-laws and resulting provincial/municipal enforcement roles for residential rental maintenance standards.

Municipal property standard by-law coverage	Number of municipalities¹	Provincial enforcement role for residential rental maintenance standards	Municipal enforcement role for residential rental maintenance standards
Complete by-law ²	269	None	Interior and exterior of residential rental units/complexes
Partial by-law coverage ³	52	Interior of residential rental units/complexes (where municipal by-law applies only to the exterior of buildings)	Exterior of residential rental units/complexes
		Interior and exterior of residential rental units/complexes in geographic areas not covered by a municipal by-law (where municipality has a geographic-based property standards by-law)	Interior and exterior of residential rental units/complexes, in areas covered by municipal by-law
No by-law	93	Interior and exterior of residential rental unit/complexes	None
Total lower and single tier municipalities	414		

¹ The ministry maintains a database on municipal property standard by-law and makes updates as information becomes available. As by-laws are subject to change and municipalities continue to adopt by-laws, some data may be out of date.

² By-law covers interior and exterior of buildings and applies to all geographic areas in municipality.

³ By-law does not cover the interior of buildings and/or does not apply to all geographic areas within a municipality.

2. RATIONALE FOR PROPOSED LEGISLATIVE AMENDMENT

The primary reasons for this proposed change are to:

- Eliminate the current overlapping enforcement approach between provincial and municipal levels of government;
- Provide a consistent enforcement approach across all municipalities that is accessible and responsive to citizens;
- Recognize municipalities as the appropriate level of government to enforce building and property-related standards, aligning with responsibilities set out under the Building Code Act, 1992.

3. CURRENT PROVINCIAL ENFORCEMENT APPROACH

The province's maintenance standards are included in Ontario Regulation 517/06 under the Residential Tenancies Act, 2006. The Regulation contains provisions that are similar to many property standards by-laws.

A tenant in a municipality without a property standards by-law or with a partial property standards by-law can make a written complaint to the Ministry of Housing regarding maintenance deficiencies in their rental unit/complex. The Ministry uses a roster of part-time inspectors to carry out inspections. If necessary, an inspector may issue a work order if a property does not conform to the prescribed standards. A landlord who does not agree with a work order may request a review of the work order by the Landlord and Tenant Board. The Board may confirm, vary, or overturn the work order. It is an offence for a landlord to not comply with provisions contained in a work order.

The ministry bills municipalities a set fee of \$265 for each inspection or re-inspection. This fee has not changed since 1998.

Historical Provincial Work Volumes

The volume of provincial inspections has significantly diminished over the years, as more municipalities have chosen to adopt property standards by-laws. Tables 1 and 2 (attached) provide information on inspection activity in affected municipalities over the past three years. Most municipalities have not had any provincial inspections in the past three years.

4. PROPOSED AMENDMENT TO RESIDENTIAL TENANCIES ACT AND ASSOCIATED MUNICIPAL IMPACTS

The proposed amendments to the Residential Tenancies Act would, if passed, provide a consistent and more efficient local approach to enforcement across Ontario municipalities. Municipalities with complete property standard by-laws would not be impacted by the legislative amendment. Municipalities with partial by-laws or without by-laws would have the following options:

OPTION 1 – Adopt a Property Standards By-law: Adopt a property standards by-law, under Section 15 of the Building Code Act, 1992 that would include residential rental maintenance standards (including interior building standards).

Adoption of a property standards by-law would typically entail enforcement responsibility over a broader range of building/property types (i.e. over and above residential rental). The Building

Code Act also provides broader enforcement powers and more flexibility for municipalities to define standards that fit local conditions.

Municipalities that Currently Enforce Partial Property Standard By-laws

If the proposed amendments are enacted, municipalities with partial or geographic-based property standards by-laws would be required to enforce the province's maintenance standards in areas where the property standards by-law does not apply. Accordingly, municipalities that currently have partial property standard by-laws pursuant to the Building Code Act may wish to assess how they can amend their current by-laws to include interior rental maintenance standards. Municipalities with geographic property standard by-laws may wish to consider amending their by-laws to extend coverage to all areas within their municipalities.

OPTION 2 – Enforce Residential Tenancies Act Standards: Begin enforcing the province's maintenance standards, included in Ontario Regulation 517/06 under the Residential Tenancies Act. It is currently proposed that municipal enforcement would begin July 1, 2018.

Municipalities that implement Option 2 would be required to:

- Receive written complaints from tenants regarding compliance with the prescribed maintenance standards;
- Upon receiving a complaint, cause an inspector to make whatever inspection the municipality considers necessary
 - A municipality would be required to appoint one or more persons as "inspectors" for this purpose;
 - The inspector would be empowered to issue a "work order" to the landlord to remedy instances of non-compliance;
 - A landlord would be entitled to request a review of the work order by the Landlord and Tenant Board – the municipality could request to participate in any Board proceeding, but would not be required to do so;
- Investigate allegations of failure to comply with a work order; and
- Where circumstances warrant, prosecute landlords for non-compliance with a work order.

The Residential Tenancies Act approach:

- Would only apply to residential rental buildings (both interior and exterior, unless the exterior is already governed by a property standards by-law); and,
- Would only allow current tenants in rental units to file complaints with municipalities.

It is anticipated that municipalities would assess both options to determine the most appropriate local response.

5. NEXT STEPS

The proposed legislation would provide municipalities with time to determine their preferred local enforcement approach. If the proposed amendments are enacted, the ministry will work with stakeholders to develop training and other best practice initiatives to assist affected municipalities prepare for this change.

**Table 1 - Municipalities with No Property Standards By-Law
Volume of Provincial Inspections/Re-inspections over the Previous 3 Years**

No.	Municipality	Property Standards By-Law Coverage	Inspections and Re-inspections 2013-14	Inspections and Re-inspections 2014-15	Inspections and Re-inspections 2015-16	Three Year Average
1	Addington Highlands Township	No-By Law	0	2	2	1.3
2	Adjala-Tosorontio Township	No-By Law	2	0	0	0.7
3	Algonquin Highlands Township	No-By Law	0	0	1	0.3
4	Amaranth Township	No-By Law	0	0	0	0.0
5	Armstrong Township	No-By Law	0	0	0	0.0
6	Assiginack Township	No-By Law	0	0	0	0.0
7	Athens Township	No-By Law	0	0	0	0.0
8	Beckwith Township	No-By Law	0	1	1	0.7
9	Brethour Township	No-By Law	0	0	0	0.0
10	Brudenell, Lyndoch and Raglan Township	No-By Law	1	1	0	0.7
11	Burpee and Mills Township	No-By Law	0	0	0	0.0
12	Calvin Township	No-By Law	0	0	0	0.0
13	Carling Township	No-By Law	0	0	0	0.0
14	Casey Township	No-By Law	0	0	0	0.0
15	Casselman Village	No-By Law	2	1	0	1.0
16	Central Frontenac Township	No-By Law	3	3	6	4.0
17	Chamberlain Township	No-By Law	0	0	0	0.0
18	Chapple Township	No-By Law	0	0	0	0.0
19	Charlton-Dack Municipality	No-By Law	0	0	0	0.0
20	Chatsworth Township	No-By Law	1	0	0	0.3
21	Clearview Township	No-By Law	0	3	0	1.0
22	Cockburn Island Township	No-By Law	0	0	0	0.0
23	Conmee Township	No-By Law	0	0	0	0.0
24	Dawson Township	No-By Law	0	0	0	0.0
25	Drummond-North Elmsley Township	No-By Law	0	1	1	0.7
26	Dubreuilville Township	No-By Law	0	0	0	0.0
27	East Garafraxa Township	No-By Law	0	0	0	0.0
28	Edwardsburgh-Cardinal Township	No-By Law	0	0	2	0.7
29	Elizabethtown-Kitley Township	No-By Law	0	0	0	0.0
30	Enniskillen Township	No-By Law	0	0	0	0.0
31	Evanturel Township	No-By Law	0	0	0	0.0
32	Front of Yonge Township	No-By Law	0	0	0	0.0
33	Frontenac Islands Township	No-By Law	0	0	0	0.0
34	Gauthier Township	No-By Law	0	0	0	0.0

**Table 1 - Municipalities with No Property Standards By-Law
Volume of Provincial Inspections/Re-inspections over the Previous 3 Years**

No.	Municipality	Property Standards By-Law Coverage	Inspections and Re-inspections 2013-14	Inspections and Re-inspections 2014-15	Inspections and Re-inspections 2015-16	Three Year Average
35	Gillies Township	No-By Law	0	0	0	0.0
36	Gordon-Barrie Island Municipality	No-By Law	0	0	0	0.0
37	Greater Madawaska Township	No-By Law	0	2	0	0.7
38	Harley Township	No-By Law	0	0	0	0.0
39	Harris Township	No-By Law	0	0	0	0.0
40	Head, Clara and Maria Township	No-By Law	0	0	0	0.0
41	Highlands East Municipality	No-By Law	0	0	0	0.0
42	Hilliard Township	No-By Law	0	0	0	0.0
43	Hilton Beach Village	No-By Law	0	0	0	0.0
44	Hilton Township	No-By Law	0	0	0	0.0
45	Hornepayne Township	No-By Law	0	0	0	0.0
46	Hudson Township	No-By Law	0	0	0	0.0
47	Huron Shores Municipality	No-By Law	0	0	0	0.0
48	Jocelyn Township	No-By Law	0	0	0	0.0
49	Joly Township	No-By Law	0	0	0	0.0
50	Kerns Township	No-By Law	0	0	0	0.0
51	Killarney Municipality	No-By Law	0	0	0	0.0
52	La Vallee Township	No-By Law	0	0	0	0.0
53	Lake of Bays Township	No-By Law	0	0	5	1.7
54	Lake of The Woods Township	No-By Law	0	0	0	0.0
55	Lanark Highlands Township	No-By Law	1	1	2	1.3
56	Larder Lake Township	No-By Law	0	0	0	0.0
57	Latchford Town	No-By Law	0	0	0	0.0
58	Limerick Township	No-By Law	0	0	0	0.0
59	Machin Township	No-By Law	0	0	0	0.0
60	Madawaska Valley Township	No-By Law	0	0	0	0.0
61	Manitouwadge Township	No-By Law	0	0	0	0.0
62	Markstay-Warren Municipality	No-By Law	0	0	0	0.0
63	Mattawan Township	No-By Law	0	0	0	0.0
64	McKellar Township	No-By Law	0	0	0	0.0
65	McMurrich-Monteith Township	No-By Law	0	0	0	0.0
66	Moonbeam Township	No-By Law	0	0	0	0.0
67	Moosonee Town	No-By Law	0	0	0	0.0
68	Morley Township	No-By Law	0	0	0	0.0

**Table 1 - Municipalities with No Property Standards By-Law
Volume of Provincial Inspections/Re-inspections over the Previous 3 Years**

No.	Municipality	Property Standards By-Law Coverage	Inspections and Re-inspections 2013-14	Inspections and Re-inspections 2014-15	Inspections and Re-inspections 2015-16	Three Year Average
69	Neebing Municipality	No-By Law	0	0	0	0.0
70	Nipissing Township	No-By Law	0	0	0	0.0
71	North Algona-Wilberforce Township	No-By Law	0	0	0	0.0
72	North Frontenac Township	No-By Law	0	0	0	0.0
73	O'Connor Township	No-By Law	0	0	0	0.0
74	Opasatika Township	No-By Law	0	0	0	0.0
75	Oro-Medonte Township	No-By Law	2	0	1	1.0
76	Plummer Additional Township	No-By Law	0	0	0	0.0
77	Ryerson Township	No-By Law	0	0	1	0.3
78	Seguin Township	No-By Law	0	0	1	0.3
79	Sioux Narrows-Nestor Falls Township	No-By Law	0	0	0	0.0
80	South Algonquin Township	No-By Law	0	0	0	0.0
81	South Frontenac Township	No-By Law	1	6	9	5.3
82	Springwater Township	No-By Law	0	0	0	0.0
83	St.-Charles Municipality	No-By Law	0	0	0	0.0
84	Stirling-Rawdon Township	No-By Law	1	0	1	0.7
85	Stone Mills Township	No-By Law	1	1	1	1.0
86	Tarbutt and Tarbutt Additional Township	No-By Law	0	0	0	0.0
87	Tay Valley Township	No-By Law	3	0	1	1.3
88	Terrace Bay Township	No-By Law	0	0	0	0.0
89	The Archipelago Township	No-By Law	0	0	0	0.0
90	Thornloe Village	No-By Law	0	0	0	0.0
91	Tudor and Cashel Township	No-By Law	0	0	0	0.0
92	Val Rita-Harty Township	No-By Law	0	0	0	0.0
93	Whitestone Municipality	No-By Law	0	0	0	0.0
Total Inspections and Re-inspections			18	22	35	25
Total Municipalities with Inspections and Re-inspections			11	11	15	12

**Table 2 - Municipalities with a Partial Property Standards By- Law (Exterior and/or Geographic Coverage)
Volume of Provincial Inspections/Re-inspections over the Previous 3 Years**

No.	Municipality	Property Standards By-Law Coverage	Inspections and Re-inspections 2013-14	Inspections and Re-inspections 2014-15	Inspections and Re-inspections 2015-16	Three Year Average
1	Admaston-Bromley Township	Exterior	0	0	0	0.0
2	Alberton Township	Exterior	0	0	0	0.0
3	Billings Township	Exterior	0	0	0	0.0
4	Bradford-West Gwillimbury Town	Geographic	0	0	0	0.0
5	Brockton Municipality	Geographic	0	0	0	0.0
6	Central Elgin Municipality	Geographic	0	0	0	0.0
7	Centre Wellington Township	Exterior	3	1	2	2.0
8	Cobalt Town	Exterior	0	0	0	0.0
9	Coleman Township	Exterior	0	0	0	0.0
10	Deep River Town	Exterior	0	0	0	0.0
11	Dorion Township	Exterior	0	0	0	0.0
12	Dutton-Dunwich Municipality	Geographic	0	0	0	0.0
13	Emo Township	Exterior	0	0	0	0.0
14	Englehart Town	Exterior	0	0	0	0.0
15	Gore Bay Town	Exterior	0	0	0	0.0
16	Greenstone Municipality	Exterior	1	0	0	0.3
17	Grey Highlands Municipality	Exterior	0	0	0	0.0
18	Huron-Kinloss Township	Exterior	0	0	0	0.0
19	Ignace Township	Exterior	0	0	0	0.0
20	Kearney Town	Exterior	0	0	0	0.0
21	Killaloe, Hagarty and Richards Township	Exterior	0	0	0	0.0
22	Macdonald Meredith et al Township	Exterior	0	0	0	0.0
23	Machar Township	Exterior	0	0	0	0.0
24	Malahide Township	Exterior	0	0	0	0.0
25	Mapleton Township	Exterior	0	0	0	0.0
26	Markham City	Exterior	0	2	0	0.7
27	Mattice - Val Cote Township	Exterior	0	0	0	0.0
28	McDougall Township	Exterior	1	0	2	1.0
29	McGarry Township	Exterior/Geographic	0	0	0	0.0
30	Melancthon Township	Exterior	0	0	0	0.0
31	Mono Town	Exterior	0	0	0	0.0
32	Mulmur Township	Exterior	0	0	0	0.0
33	Nairn and Hyman Township	Exterior	0	0	0	0.0

**Table 2 - Municipalities with a Partial Property Standards By- Law (Exterior and/or Geographic Coverage)
Volume of Provincial Inspections/Re-inspections over the Previous 3 Years**

No.	Municipality	Property Standards By-Law Coverage	Inspections and Re-inspections 2013-14	Inspections and Re-inspections 2014-15	Inspections and Re-inspections 2015-16	Three Year Average
34	Papineau-Cameron Township	Exterior	0	0	0	0.0
35	Penetanguishene Town	Exterior	0	0	0	0.0
36	Prince Edward County	Exterior	6	4	14	8.0
37	Prince Township	Exterior	0	0	0	0.0
38	Ramara Township	Exterior	0	6	2	2.7
39	Rideau Lakes Township	Exterior	4	0	0	1.3
40	Sables-Spanish Rivers Township	Exterior	0	0	0	0.0
41	Shuniah Municipality	Exterior	0	0	0	0.0
42	Municipality of South Dundas	Geographic	0	0	2	0.7
43	Southgate Township	Exterior/Geographic	1	0	0	0.3
44	Southwold Township	Exterior	0	0	0	0.0
45	St. Joseph Township	Exterior	0	0	0	0.0
46	St. Marys Town	Exterior	3	3	3	3.0
47	Tehkummah Township	Exterior	0	0	0	0.0
48	The Blue Mountains Town	Exterior/Geographic	0	0	0	0.0
49	Tyendinaga Township	Exterior	0	0	0	0.0
50	Wellington North Township	Exterior	0	0	0	0.0
51	White River Township	Exterior	0	0	0	0.0
52	Zorra Township	Exterior	0	0	0	0.0
Total Inspections and Re-inspections			19	16	25	20
Total Municipalities with Inspections and Re-inspections			7	5	6	6

Table 3 - Municipalities with Complete Property Standards By-law Coverage

No.	Municipality
1	Adelaide-Metcalf Township
2	Ajax Town
3	Alfred and Plantagenet Township
4	Alnwick-Haldimand Township
5	Amherstburg Town
6	Armour Township
7	Arnprior Town
8	Arran-Elderslie Municipality
9	Ashfield-Colborne-Wawanosh Township
10	Asphodel-Norwood Township
11	Atikokan Township
12	Augusta Township
13	Aurora Town
14	Aylmer Town
15	Baldwin Township
16	Bancroft Town
17	Barrie City
18	Bayham Municipality
19	Belleville City
20	Black River - Matheson Township
21	Blandford - Blenheim Township
22	Blind River Town
23	Bluewater Municipality
24	Bonfield Township
25	Bonnechere Valley Township
26	Bracebridge Town
27	Brampton City
28	Brant County
29	Brantford City
30	Brighton Municipality
31	Brock Township
32	Brockville City
33	Brooke-Alvinston Municipality
34	Bruce Mines Town
35	Burk's Falls Village
36	Burlington City
37	Caledon Town
38	Callander Municipality
39	Cambridge City
40	Carleton Place Town
41	Carlow-Mayo Township
42	Cavan Monaghan Township
43	Central Huron Municipality
44	Central Manitoulin Township
45	Centre Hastings Municipality
46	Champlain Township
47	Chapleau Township
48	Chatham-Kent Municipality
49	Chisholm Township
50	Clarence-Rockland City

No.	Municipality
51	Clarington Municipality
52	Cobourg Town
53	Cochrane Town
54	Collingwood Town
55	Cornwall City
56	Cramahe Township
57	Dawn-Euphemia Township
58	Deseronto Town
59	Douro-Dummer Township
60	Dryden City
61	Dysart et al Township
62	Ear Falls Township
63	East Ferris Township
64	East Gwillimbury Town
65	East Hawkesbury Township
66	East Zorra - Tavistock Township
67	Elliot Lake City
68	Erin Town
69	Espanola Town
70	Essa Township
71	Essex Town
72	Faraday Township
73	Fauquier-Strickland Township
74	Fort Erie Town
75	Fort Frances Town
76	French River Municipality
77	Gananoque Town
78	Georgian Bay Township
79	Georgian Bluffs Township
80	Georgina Town
81	Goderich Town
82	Grand Valley Town
83	Gravenhurst Town
84	Greater Napanee Town
85	Greater Sudbury City
86	Grimsby Town
87	Guelph City
88	Guelph-Eramosa Township
89	Haldimand City
90	Halton Hills Town
91	Hamilton City
92	Hamilton Township
93	Hanover Town
94	Hastings Highlands Municipality
95	Havelock-Belmont-Methuen Township
96	Hawkesbury Town
97	Hearst Town
98	Horton Township
99	Howick Township
100	Huntsville Town

Table 3 - Municipalities with Complete Property Standards By-law Coverage

No.	Municipality
101	Huron East Municipality
102	Ingersoll Town
103	Innisfil Town
104	Iroquois Falls Town
105	James Township
106	Johnson Township
107	Kapuskasing Town
108	Kawartha Lakes City
109	Kenora City
110	Kincardine Municipality
111	King Township
112	Kingston City
113	Kingsville Town
114	Kirkland Lake Town
115	Kitchener City
116	Laird Township
117	Lakeshore Town
118	Lambton Shores Municipality
119	LaSalle Town
120	Laurentian Hills Town
121	Laurentian Valley Township
122	Leamington Municipality
123	Leeds and the Thousand Islands Township
124	Lincoln Town
125	London City
126	Loyalist Township
127	Lucan Biddulph Township
128	Madoc Township
129	Magnetawan Municipality
130	Marathon Town
131	Marmora and Lake Municipality
132	Matachewan Township
133	Mattawa Town
134	McNab-Braeside Township
135	Meaford Municipality
136	Merrickville-Wolford Village
137	Middlesex Centre Municipality
138	Midland Town
139	Milton Town
140	Minden Hills Township
141	Minto Town
142	Mississauga City
143	Mississippi Mills Town
144	Montague Township
145	Morris-Turnberry Municipality
146	Muskoka Lakes Township
147	New Tecumseth Town
148	Newbury Village
149	Newmarket Town
150	Niagara Falls City

No.	Municipality
151	Niagara-on-the-Lake Town
152	Nipigon Township
153	Norfolk County
154	North Bay City
155	North Dumfries Township
156	North Dundas Township
157	North Glengarry Township
158	North Grenville Municipality
159	North Huron Township
160	North Kawartha Township
161	North Middlesex Municipality
162	North Perth Town
163	North Stormont Township
164	Northeastern Manitoulin & The Isl. Town
165	Northern Bruce Peninsula Municipality
166	Norwich Township
167	Oakville Town
168	Oil Springs Village
169	Oliver Paipoonge Municipality
170	Orangeville Town
171	Orillia City
172	Oshawa City
173	Otonabee-South Monaghan Township
174	Ottawa City
175	Owen Sound City
176	Parry Sound Town
177	Pelee Township
178	Pelham Town
179	Pembroke City
180	Perry Township
181	Perth East Township
182	Perth South Township
183	Perth Town
184	Petawawa Town
185	Peterborough City
186	Petrolia Town
187	Pickering City
188	Pickle Lake Township
189	Plympton-Wyoming Town
190	Point Edward Village
191	Port Colborne City
192	Port Hope Municipality
193	Powassan Municipality
194	Prescott Town
195	Puslinch Township
196	Quinte West City
197	Rainy River Town
198	Red Lake Municipality
199	Red Rock Township
200	Renfrew Town

Table 3 - Municipalities with Complete Property Standards By-law Coverage

No.	Municipality
201	Richmond Hill Town
202	Russell Township
203	Sarnia City
204	Saugeen Shores Town
205	Sault Ste. Marie City
206	Schreiber Township
207	Scugog Township
208	Selwyn Township
209	Severn Township
210	Shelburne Town
211	Sioux Lookout Municipality
212	Smiths Falls Town
213	Smooth Rock Falls Town
214	South Bruce Municipality
215	South Glengarry Township
216	South Huron Municipality
217	South River Village
218	South Stormont Township
219	Southwest Middlesex Municipality
220	South-West Oxford Township
221	Spanish Town
222	St. Catharines City
223	St. Clair Township
224	St. Thomas City
225	Stratford City
226	Strathroy-Caradoc Township
227	Strong Township
228	Sundridge Village
229	Tay Township
230	Tecumseh Town
231	Temagami Municipality
232	Temiskaming Shores City
233	Thames Centre Municipality
234	The Nation Municipality
235	The North Shore Township
236	The South Bruce Peninsula Town
237	Thessalon Town
238	Thorold City
239	Thunder Bay City
240	Tillsonburg Town
241	Timmins City
242	Tiny Township
243	Toronto City
244	Trent Hills Municipality
245	Trent Lakes Municipality
246	Tweed Municipality
247	Uxbridge Township
248	Vaughan City
249	Wainfleet Township
250	Warwick Township

No.	Municipality
251	Wasaga Beach Town
252	Waterloo City
253	Wawa Municipality
254	Welland City
255	Wellesley Township
256	West Elgin Municipality
257	West Grey Municipality
258	West Lincoln Township
259	West Nipissing Municipality
260	West Perth Municipality
261	Westport Village
262	Whitby Town
263	Whitchurch - Stouffville Town
264	Whitewater Region Township
265	Wilmot Township
266	Windsor City
267	Wollaston Township
268	Woodstock City
269	Woolwich Township

MINISTRY OF MUNICIPAL AFFAIRS | MINISTRY OF HOUSING

Municipal Services Offices Contact List

Central Municipal Services Office

General Inquiry: 416-585-6226

Toll Free: 1-800-668-0230

Eastern Municipal Services Office

General Inquiry: 613-545-2100

Toll Free: 1-800-267-9438

Municipal Services Office - North (Sudbury)

General Inquiry: 705-564-0120

Toll Free: 1-800-461-1193

Municipal Services Office - North (Thunder Bay)

General Inquiry: 705-564-6862

Toll Free: 1-800-465-5027

Western Municipal Services Office

General Inquiry: 519-873-4020

Toll Free: 1-800-265-4736

TOWNSHIP OF SOUTH FRONTENAC

BY-LAW 2016-44

A BY-LAW TO CONFIRM GENERALLY PREVIOUS ACTIONS OF THE COUNCIL OF THE CORPORATION OF THE TOWNSHIP OF SOUTH FRONTENAC.

THEREFORE THE CORPORATION OF THE TOWNSHIP OF SOUTH FRONTENAC, BY ITS COUNCIL, HEREBY ENACTS AS FOLLOWS:

1. The actions of the Council of the Corporation of the Township of South Frontenac at its Council Meeting of July 5, 2016 be confirmed.
2. Execution by the Mayor and the Clerk-Administrator of all Deeds, Instruments and other Documents necessary to give effect to any such Resolution, Motion or other action and the affixing of the Corporate Seal to any such Deed, Instruments or other Documents is hereby authorized and confirmed.
3. This By-law shall come into force and take effect on the date of its passage.

Dated at the Township of South Frontenac this 5th day of July, 2016.

Read a first and second time this 5th day of July, 2016.

Read a third time and finally passed this 5th day of July, 2016.

THE CORPORATION OF THE
TOWNSHIP OF SOUTH FRONTENAC

Ron Vandewal, Mayor

Wayne Orr, Chief Administrative Officer