

TOWNSHIP OF SOUTH FRONTENAC

BY-LAW NUMBER 2018-30

BEING A BY-LAW TO AUTHORIZE THE MAYOR AND THE CLERK TO EXECUTE A SITE PLAN AGREEMENT BETWEEN THE CORPORATION OF THE TOWNSHIP OF SOUTH FRONTENAC AND HELENA CORCORAN & JOY BENN.

WHEREAS a Site Plan Agreement has been prepared to the satisfaction of the Township of South Frontenac and the Owners;

AND WHEREAS the Owners have signed the Site Plan Agreement:

NOW THEREFORE THE CORPORATION OF THE TOWNSHIP OF SOUTH FRONTENAC BY ITS COUNCIL, HEREBY ENACTS AS FOLLOWS:

1. **THAT** the Mayor and the Clerk are hereby authorized to execute a Site Plan Agreement between the Corporation of the Township of South Frontenac and Helena Corcoran & Joy Benn, a copy of which is attached hereto forming part of this by-law.
2. **THAT** this By-law and Agreement shall be registered on title of the properties described as Part 2, Plan 13R-10429; Part of Lot 33, Concession VII, Storrington District, Township of South Frontenac.
3. **THIS BY-LAW** shall come into force and effect in accordance with section 41 of the Planning Act 1990, either upon the date of passage or as otherwise provided by the said section 41.

Dated at the Township of South Frontenac this first day of May, 2018.

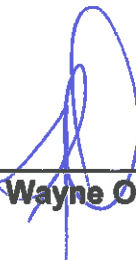
Read a first and second time this first day of May, 2018.

Read a third time and finally passed this first day May, 2018.

**THE CORPORATION OF THE
TOWNSHIP OF SOUTH FRONTENAC**



Ron Vandewal, Mayor



Wayne Orr, Clerk-Administrator

**SITE PLAN AGREEMENT made this day
of May, 2018**

between

HELENE CORCORAN & JOY BENN

Hereinafter called the "Owner"

OF THE FIRST PART

-and-

THE CORPORATION OF THE TOWNSHIP OF SOUTH FRONTENAC

Hereinafter called the "Municipality"

OF THE SECOND PART

WHEREAS the Owner is the registered owner in fee simple of certain lands located in the Township of South Frontenac (the "Owner's Lands");

AND WHEREAS the Council of the Municipality granted its approval to a zoning by-law amendment that would permit new construction to be over the normally permitted lot coverage on the land more particularly described in Schedule "A";

AND WHEREAS it was a condition of the Council's approval that the Owner of the lands enter into this agreement with the Municipality on the terms set out;

AND WHEREAS the Municipality is authorized to enter into this agreement and register it against the title to the severed lands, pursuant to section 41 of the Planning Act;

NOW THEREFORE WITNESSETH that in consideration of the mutual covenants and agreements contained herein, the parties agree each with the other as follows:

1. The following schedules are attached to, and form part of, this agreement and no new building or structure or other facility shall be erected, altered or placed on the said land except in accordance with the attached schedules which consist of:
 - A. Legal Description of Lands
 - B. Site Plan
 - C. Environmental Report
2. The Owner covenants that the Owner is the Owner in fee simple of the Owner's lands described on Schedule "A" attached hereto.
3. The Owner shall perform all the work for the construction of a new dwelling with attached garage a maximum footprint of 3,080 square feet in accordance with Schedule "B" attached hereto and in accordance with the provisions of Special Waterfront Residential Zone (RW-40).
4. The Owner shall remove the existing structures located within the 30 metre setback from the lake prior to construction of the new dwelling.
5. The Owner covenants and agrees with the Municipality as follows:
 - 5.1 Special Requirements
 - 5.1.1 That any onshore or in-water works (e.g. dredging, installation of a dock) will require a permit from the Cataraqui Region Conservation Authority.
 - 5.1.2 That any development, including any septic systems must be located a minimum of 30 metres from the highwater mark of Collins Lake and as shown on Schedule "B" attached hereto.

Environmental Protection

- 5.1.3 That a building permit will not be issued for new development on the lands until the owner/applicant has received a permit from Kingston, Frontenac, Lennox & Addington Public Health.
 - 5.1.4 That all roof and site run-off be directed to sites away from the lake, to allow for natural treatment and infiltration to take place.
 - 5.1.5 That erosion control measures (e.g use of straw bales) be used during any construction and remain in place until any ground cover disturbed during construction has been re-established. Ground cover will be re-established as soon as possible upon completion of construction.
 - 5.1.6 That the property be managed prior to, during and following all development of the lands in a manner whereby the natural soil and vegetation is maintained within the water setback area (minimum 98.4 feet/30 metres), except as approved by the Township of South Frontenac, and that minimizes the potential for soil erosion and the subsequent deposition of sediments and pollutants in lake, creek, wetlands. If the natural vegetation had been disturbed and removed prior to the development of the lot, natural vegetation cover shall be restored within the water setback (minimum 98.4 feet/30 metres) area. There shall be no clear-cutting or construction of roadways within the setback area.
 - 5.1.7 That any excavated materials, garbage, or debris created by development on the lands shall be taken to an area well removed from the lake.
 - 5.1.8 Development must be in accordance with the conditions of the Environmental Site Evaluation report, dated April 23, 2018 prepared by Ecological Services and attached hereto as Schedule "C".
6. This Agreement shall be registered against the title to the Lands, and the Municipality shall be entitled to enforce its provisions against the Owner

and, in respect of the obligations affecting the Lands, against any or all subsequent owners of the Lands.

- 7. If the Owner fails or refuses for any reason to comply with any requirements of this agreement, the Owner shall be in default and the Municipality may, on seven (7) days notice, require the Owner to remedy the default, failing which the Municipality may, without further notice and without prejudice to any other rights and remedies available to it, do such things and perform such work as is necessary to rectify the default.**
- 8. Any account rendered by the Municipality for work done shall be paid by the Owner within thirty (30) days of the day of billing, and, if the Owner fails to pay, interest shall be charged on the amount outstanding at the rate of one and a quarter percent (1.25%) per month (15% per annum) on the first day of each calendar month following the date the account was due. Any payments received on accounts rendered shall be applied first to any outstanding interest, which may have accrued, and the balance shall be applied to reduce the principal amount outstanding.**
- 9. If the Municipality incurs any expense arising out of the terms of this Agreement, the Municipality may recover the amount in like manner as municipal taxes or by action, pursuant to Section 326 of the Municipal Act.**
- 10. All costs necessary to fulfill any condition of this agreement, and all costs incurred by the Municipality in connection with the preparation, execution, registration or enforcement of this Agreement shall be paid by the Owner.**
- 11. This Agreement shall enure to the benefit of and be binding upon the personal representatives, successors and assigns of the parties.**

IN WITNESS WHEREOF the Parties hereto have hereunto set their hands and seals as of the day and year first written above.

**SIGNED, SEALED AND DELIVERED
In the presence of:**

WITNESS

WITNESS

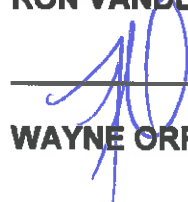
OWNER

OWNER

**THE CORPORATION OF THE
TOWNSHIP OF SOUTH FRONTENAC
Per:**



RON VANDEWAL – MAYOR



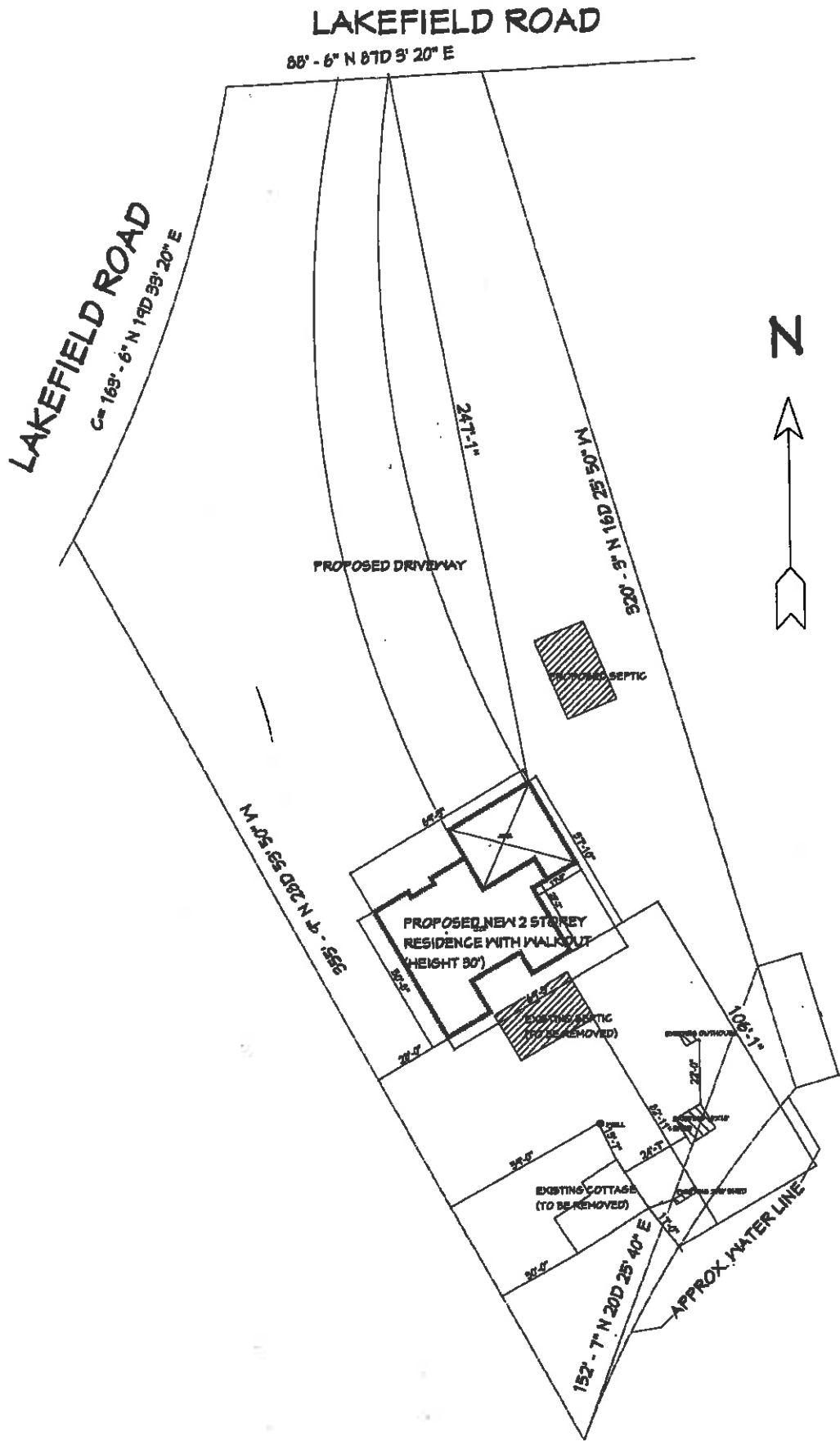
WAYNE ORR – CLERK

SCHEDULE "A"
LEGAL DESCRIPTION


THE LANDS

Concession VII, Part Lot 33, District of Storrington, Township of South Frontenac, Part 2
on Plan 13R- 10429

SCHEDULE "B"
SITE PLAN



SCHEDULE "C" ENVIRONMENTAL REPORT

	<p>Ecological Services R.R. #1, 3803 Sydenham Road Elginburg, Ontario K0H 1M0 Phone: (613) 376-6916 E-mail: mail@ecologicalservices.ca</p>
ENVIRONMENTAL SITE EVALUATION	
Municipality: Township of South Frontenac (District of Storrington)	
Lots:	Concession:
Municipal Address: 2713 Lakefield Drive	
Site District: 6E-10	
Landowner: Joy Benn	
Planning Application Reference:	
<p>Description of Application: The applicant is proposing to remove the derelict building and other structures that currently sit less than 10 m from the shoreline and develop the property (a lot of approximately 0.5 ha) with a single-family residence that will be set back at least 30 m from the shoreline, with a septic system set further back, installed behind the house in order to minimize impact. The stated intent is to maintain a natural shoreline. The applicant also proposes to remove the substantial amounts of garbage and cast-off building materials that are scattered throughout the property, and to attempt to remove the invasive, non-native European Buckthorn shrub that is spread throughout the lot.</p>	
<p>Site Description: The subject property is located at 2713 Lakefield Drive, on the west site of Collins Lake (Attachment 1). We visited the site on April 11, 2018 and again on April 22, 2018. The property has been partially cleared in the past, possibly in association with the abandoned cottage and outbuildings sitting close (less than 10 m) to the shoreline (Attachment 2); most of the shoreline area of the property is grass-covered lawn, with scattered trees. The back (north end) of the lot has some tree cover, primarily White Cedar, with undergrowth species characteristic of cultural disturbance, e.g., European Buckthorn. The shoreline is rocky, more characteristically lacustrine than wetland, with some evidence of past fish nesting occurring at the edge of the lake. There also appears to be the remains of a crib dock, as evidenced by a distinct pile of uniform sized rocks extending out from shore. Remnant garbage and cast-off building materials are scattered throughout the entire lot (including cans, bottles, toys, scaffolding, and lumber) and on the bottom of the nearshore area of the lake (including car tires and building materials). The applicant has expressed a desire to clean up the garbage left behind by previous owners. The property is bounded on both sides by other single-residence properties.</p> <p style="margin-left: 40px;">A. Ecological Land Classification The ELC type Dry – Fresh White Cedar Coniferous Forest Type (FOC2-2) covers the back of the lot. There are several deciduous tree species in addition to the cedar dominant, including White Ash, Black Cherry, and Hop-hornbeam. The front of the site (i.e. the nearshore area) is cultural in nature: on the west side a Mineral Cultural Meadow Ecosite (CUM1) with scattered White Cedar, Black Cherry, and Manitoba Maple trees</p>	

<p>around the existing building and on the east side a Mineral Cultural Woodland Ecosite (CUW1) containing small outbuildings. Several garden-escape species constitute much of the ground cover at the front of the site.</p>	
<p>B. Slope The entire site is fairly level.</p>	
<p>C. Surface Water Quality and Quantity Collins Lake appears to have good water quality. A nearby station in the provincial Lake Partner's Program has recorded a phosphorous level of 15.5 µg/L in 2016. This corresponds with mesotrophic (medium nutrient) levels. A eutrophic or nutrient-rich lake is one that has high levels of phosphorous (35 to 100 µg/L), based on current Canadian standards (CCME 2004). Another sampling station at the north end of Collins Lake recorded a similar phosphorous level in 2016. However, it should be noted that these data consist of a single sample day each.</p>	
<p>D. Setback Requirements The landowner is proposing a development setback of at least 30 m and the maintenance of natural vegetation cover between the building and the water. The septic system associated with the development will be set back further, behind the house. It is our opinion that this is an acceptable setback, and that the natural vegetation within the setback will act to protect the natural heritage features and functions found in the area.</p>	
<p>Is the Proposed Development:</p>	
<p>A. In a Provincially Significant Wetland or Coastal Wetland?</p>	<p>Yes <input type="checkbox"/> <input checked="" type="checkbox"/> No</p>
<p>Adjacent to a Provincially Significant Wetland or Coastal Wetland? The Collins Creek Wetland Complex is adjacent to the property, as much of Collins Lake is considered to be part of the PSW. It is our opinion that removing a close dwelling and setting new construction at least 30 m back from the water, with the associated septic being even further removed, will provide a net gain to Collins Lake and its PSW. And the maintenance of a shoreline with natural vegetation, as is intended by the landowner, will provide sufficient protection.</p>	<p>Yes <input checked="" type="checkbox"/> <input type="checkbox"/> No</p>
<p>B. In a Regionally Significant Wetland?</p>	<p>Yes <input type="checkbox"/> <input checked="" type="checkbox"/> No</p>
<p>Adjacent to a Regionally Significant Wetland?</p>	<p>Yes <input type="checkbox"/> <input checked="" type="checkbox"/> No</p>
<p>C. In/adjacent to an Unevaluated Wetland?</p>	<p>Yes <input type="checkbox"/> <input checked="" type="checkbox"/> No</p>
<p>According to the Natural Heritage Information Centre mapping, there is an unevaluated wetland on the subject property. However, from visiting the site we did not find the ecology to be consistent with a wetland-type site. The White Cedar woodland on this property is an upland type, with characteristic upland plants, e.g. <i>Solidago sp.</i>, and there were no ephemeral pools or standing water present, which would be expected during the spring melt when the site was visited. The designation of an unevaluated wetland was likely a mapping error.</p>	<p>Yes <input type="checkbox"/> <input checked="" type="checkbox"/> No</p>
<p>D. In an Area of Natural and Scientific Interest?</p>	<p>Yes <input type="checkbox"/> <input checked="" type="checkbox"/> No</p>
<p>Adjacent to an Area of Natural and Scientific Interest? The closest ANSI is Collins Lake Upland Forest, located approximately</p>	<p>Yes <input type="checkbox"/> <input checked="" type="checkbox"/> No</p>

<p>645 m away, on the far side of Collins Lake.</p> <p>E. In the habitat of Species at Risk? We observed no Species at Risk during our visit to the property, and its cultural nature does not make it a strong candidate for providing SAR habitat. We assessed the site for the possible habitat of some SAR not reported to be associated with the site but known to exist in the region.</p> <p>We looked for (Endangered) Butternut trees but found none.</p> <p>Many species of bats in Ontario are Species at Risk, and will roost in cavity trees during the warm season. A copse of several White Cedar trees on the edge of the property within 30 m of the shoreline was observed to contain two trees with woodpecker-produced cavities. These trees were surrounded by lawn and separated by about 30 m of open ground from the treed portion of the property, located further north. The presence of cavity trees is not unusual as they are found within all woodlands in the region, but they still need to be considered in the context of bat maternity and roosting. However, we consider this to be a low probability for these two trees because the cavities are not high up on the trees, the trees are not large, and they are not within a woodland (see OMNRF Regional Operations Division 2015). Furthermore, there was a lack of cavities in the rest of the 0.5 ha property, and the OMNRF notes that a site would need cavity/snag concentrations greater than 10 trees per hectare to have a high potential for bat maternity use. The applicant has been made aware of the trees, and it should be noted that they are not within the proposed building envelope, and therefore do not need to be removed.</p> <p>As there is a dilapidated building on site, the potential for Barn Swallow (Threatened) nesting was considered, because they will use old structures as nesting locations. We could see no evidence of nesting from previous seasons around the eaves of the cottage and the building is sealed from outside access.</p> <p>It is our opinion that any Species at Risk in this area would most likely be associated with Collins Lake. Given the low density of the proposed development and the proposed protection of the vegetative state of the shoreline, there is unlikely to be any impact to Species at Risk.</p>	<p>Yes <input type="checkbox"/> <input checked="" type="checkbox"/> No</p>
<p>Adjacent to habitat of Species at Risk?</p> <p>The Natural Heritage Information Center (NHIC) database reported the potential for two Species at Risk (American Eel and Least Bittern) in the 1-km² UTM block encompassing the subject property (18UQ8312); we also checked the database for the surrounding UTM blocks, which listed sightings of three additional Species at Risk (Piping Plover, Eastern Meadowlark, and Gray Ratsnake – Frontenac Axis population).</p>	<p>Yes <input checked="" type="checkbox"/> <input type="checkbox"/> No</p>

American Eel (*Anguilla rostrata*).

This fish is designated as Endangered under Ontario's *Endangered Species Act (ESA)* and as Threatened by the Committee on the Status of Endangered Wildlife in Canada (COSEWIC). A migratory species of the Sargasso Sea and inland eastern North American rivers, in Ontario, it is found in the Lake Ontario Watershed, the St. Lawrence River Watershed, and the Ottawa River Watershed. NHIC did not provide the date the species was last observed in the UTM block, but Collins Lake does not fall within the known post-2000 or post-1980 ranges of the American Eel, only within the historical range (MacGregor et al. 2013). The Cataraqui Region Conservation Authority (2017) does not list the American Eel as a known species in Collins Lake. This suggests that presence is unlikely, but if present this species would be associated with the lake, adjacent to the subject property. The proposed 30 m setback and maintenance of natural vegetation within that setback would provide suitable protection.

Least Bittern (*Ixobrychus exilis*)

This bird is designated as Threatened under the *Species at Risk Act of Canada (SARA)*, the *ESA*, and by COSEWIC. Least Bitterns are found in a variety of wetland habitats, with a preference for cattail marshes. They require permanent emergent wetland vegetation to carry out their life cycle, and this is not present offshore of the subject property. As well, the Collins Lake population is known to have been greatly reduced or eliminated due to habitat reduction (Weir 2008). The NHIC observation dates from 1904 and requires no further consideration.

Piping Plover (*Charadrius melodus*)

Piping Plovers are designated an Endangered species under both the *SARA*, the *ESA*, and by COSEWIC. They require sand beaches/dunes to carry out their life cycle, and the only known location where nesting has recently been observed in the region is in North Beach Provincial Park, within Prince Edward County. The NHIC observation dates from 1903 and requires no further consideration.

Eastern Meadowlark (*Sturnella magna*)

Eastern Meadowlarks are designated as a Threatened species under both the *SARA* and the *ESA*. This grassland bird breeds primarily in moderately tall grasslands, such as pastures and hayfields, but also in other open areas. The most recent Eastern Meadowlark observation was in 2001, but this was likely in the open fields in some of the adjacent UTM blocks to 18UQ8312. There is not enough open land on the subject property to be suitable habitat for this species.

Gray Ratsnake (*Pantherophis spiloides*) (Frontenac Axis population)

The Frontenac Axis population of this snake is listed as Threatened

<p>under the <i>SARA</i>, the <i>ESA</i>, and by COSEWIC. This species uses mosaic habitats, moving between forests and forest edges. Females use rotten logs or compost piles to deposit eggs. Adult Gray Ratsnakes have high fidelity to their home ranges, particularly with respect to overwintering sites. Characteristic hibernacula occur in rock outcrops with subterranean geologic formations on south-facing slopes. The property does not contain indicative habitat features for Gray Ratsnake use; the terrain is essentially flat providing no hibernation potential, the treed part of the site is fairly scrubby, there are no unaltered forest-edge mosaics on the property (i.e. all 'edges' to tree cover are at roads or cleared land), and there are no suitable nesting sites. The observation in NHIC was from 2011, so the snakes are active in the region, but while the species may be moving through the area, the property itself is not important Gray Ratsnake habitat.</p> <p>We did not find suitable habitat on the subject property for any of the Species at Risk mentioned above, and it is our opinion that the proposed development will have no impact on these species or their habitat.</p>	
<p>F. In significant wildlife habitat?</p>	<p>Yes <input type="checkbox"/> <input checked="" type="checkbox"/> No</p>
<p>Adjacent to significant wildlife habitat?</p> <p>Without undertaking a detailed assessment, we consider it probable that Collins Lake would support significant wildlife habitat (SWH). There is potential for significance through the provision of habitats of seasonal concentrations of animals, specialized habitat for wildlife, habitat of species of conservation concern, and animal movement corridors (OMNR 2010). However, the small size and disturbed nature of the subject property itself make it an unlikely candidate for SWH.</p> <p>Our review of the NHIC database found the listing of one species of conservation concern in the UTM block containing the subject property and one in an adjacent UTM block, discussed below.</p> <p>Broad Beech Fern (<i>Phegopteris hexagonoptera</i>) This fern is designated as a species of Special Concern under both the <i>SARA</i>, the <i>ESA</i>, and by COSEWIC. This fern grows in rich soils in deciduous forest such as Maple-Beech forests, which are not present on the subject property.</p> <p>Olney's Grimmia Moss (<i>Grimmia olneyi</i>) The NHIC observation dates from 1868 and requires no further consideration.</p> <p>It seems most likely that SWH in this area would be associated with the lake and associated wetland patches adjacent to the property. Given the considerations outlined above (low density of the proposed development and the maintenance of the natural vegetation), it is our</p>	<p>Yes <input checked="" type="checkbox"/> <input type="checkbox"/> No</p>

opinion that there will be no impact to SWH.	
G. Within 120 m of a waterbody? The majority of the lot is within 120 m of Collins Lake.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
H. In fish habitat?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
<p>Adjacent to fish habitat? Collins Lake supports a wide variety of fish species (e.g. Largemouth and Smallmouth Bass, Northern Pike, etc.).</p> <p>We assessed the nearshore area for fish habitat. The water depth directly offshore is approximately 1 m deep. It takes about 3 m of horizontal travel for the water depth to reach more than 2 m in most locations. The bottom substrate is firm and rocky, which suggests that emergent vegetation growth would be minimal, and remnant aquatic vegetation (possibly <i>Sparganium</i>) was only evident in one location offshore. Due to the substrate type, it is unlikely that fish nesting would be prevalent on this shoreline, although two possible remnant fish nests from 2017 were observed.</p> <p>As there is no direct in-water work planned for the demolition of the outbuildings and the derelict cottage, or for the construction of the new buildings and septic system greater than 30 m away from fish habitat, we do not anticipate any impacts to fish habitat. Nevertheless, we do recommend the placement of a sedimentation barrier (e.g., a silt screen) between the lake and any construction or demolition activities.</p> <p>With the maintenance of the natural vegetative state within the setback, it is our opinion that the presence of a single-family residence at least 30 m from the lake will have no impact on fish or fish habitat.</p>	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
I. In or Adjacent to Highly or Moderately Sensitive Lake Trout Lake?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
J. In a significant woodland? We found that the tree cover on site was consistent with historically cultural land use, and successional growth. There are no large areas of undisturbed woodland connected with the property.	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
<p>Adjacent to a significant woodland? By land, the closest woodland connecting across a large area is over 1 km southwest of the property (or closer to 400 m if you include a narrow strip of trees running through light development). And across the lake, the Collins Lake Upland Forest ANSI is approximately 645 m away, as stated previously.</p>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
K. In a significant valleyland?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Adjacent to a significant valleyland?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
In our opinion, is a more detailed Environmental Impact Statement (EIS) required to demonstrate the appropriateness of the proposed development? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
If yes, which natural feature(s) should the assessment focus on?	
Recommendations for Mitigation:	

1. All development should be set back a minimum distance of 30 m from the high water level. We recommend that the intervening land should be maintained in a natural vegetative state, and that there be no disturbance to the vegetation cover or the soil mantle. This recommendation is not intended to prevent use of the shoreline. For example, a walking trail (up to 3 m in width) to the waterfront is reasonable. Removal of any tree or shrub that is diseased or non-native/invasive or poses a hazard to health or property is acceptable (although removal of trees should occur in fall or winter, if possible, to be consistent with the Migratory Birds Convention Act). New plantings near the shoreline, if desired, should be trees and shrubs native to Ontario.
2. The septic system should be further removed from the high water line than the associated residence.
3. We additionally recommend that the demolition of the existing building occur as soon as possible, and that it be checked for nesting birds prior to the demolition.
4. We recommend that a sedimentation barrier (e.g., a silt screen) be placed between the lake and any construction or demolition activities.
5. The landowner (or any subsequent purchaser) should be made aware that a permit will be required from the Cataraqui Region Conservation Authority prior to undertaking any work in or adjacent to the water, including a floating dock.

<p>Environmental Impact Statement: It is our opinion that the proposed undertaking will have no negative impact on the natural heritage features or on their ecological functions, and that the proposal is consistent with the intent of the Provincial Policy Statement.</p> <p>In fact, cleaning the refuse from the site and relocating the structures further from the lake may have a modest net benefit to the site's natural heritage values.</p>	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
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<p>Is monitoring recommended?</p>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
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Contacts, References & Literature Cited:

Canadian Council of Ministers of the Environment. 2004. Canadian Water Quality Guidelines for the Protection of Aquatic Life: Phosphorus: Canadian Guidance Framework for the Management of Freshwater Systems. In: Canadian Environmental Quality Guidelines, 2004, Canadian Council of Ministers of the Environment, Winnipeg. 6 pp.

Cataraqui Region Conservation Authority. 2017. Collins Lake: Lake Fact Sheet. <<https://www.crca.ca/wp-content/uploads/PDFs/LakeReports/2017-FactSheet-CollinsLake.pdf>> (accessed April 13, 2018).

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populations in Ontario. Ontario Recovery Strategy Series. Prepared for the Ontario Ministry of Natural Resources, Peterborough, Ontario. vi + 23 pp.

Lee, H.T., W.D. Bakowsky, J. Riley, J. Bowles, M. Puddister, P. Uhlig and S. McMurray. 1998. Ecological Land Classification for Southern Ontario. First Approximation and Its Application. Ontario Ministry of Natural Resources, Southcentral Science Section, Science Development and Technology Transfer Branch. SCSS Field Guide FG-02. 225 pp.

MacGregor, R., J. Casselman, L. Greig, J. Dettmers, W.A. Allen, L. McDermott, and T. Haxton. 2013. Recovery Strategy for the American Eel (*Anguilla rostrata*) in Ontario. Ontario Recovery Strategy Series. Prepared for Ontario Ministry of Natural Resources, Peterborough, Ontario. x + 119 pp.

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<http://www.gisapplication.lrc.gov.on.ca/mamnh/Index.html?site=MNR_NHLUPS_NaturalHeritage&viewer=NaturalHeritage&locale=en-US> (accessed April 13, 2018).

Ontario Lake Partner Program. 2016. Web site maintained by the Ontario Ministry of the Environment and Climate Change, with total phosphorous and water clarity records. <<https://www.ontario.ca/data/ontario-lake-partner>> (accessed April 13, 2018).

Ontario Ministry of Natural Resources. 2010. Natural Heritage Reference Manual for Natural Heritage Policies of the Provincial Policy Statement, 2005. 2nd edition. Toronto: Queen's Printer for Ontario. 248 pp.

Ontario Ministry of Natural Resources and Forestry (OMNRF) Regional Operations Division. 2015. Technical Note: Species at Risk (SAR) Bats. June 2015.

Provincial Policy Statement. 2014. Issued under Section 3 of the Planning Act. Province of Ontario. 50 pp.

Weir, R.D. 2008. Birds of the Kingston Region. Second Edition. Quarry Press Inc, Kingston, Ontario.

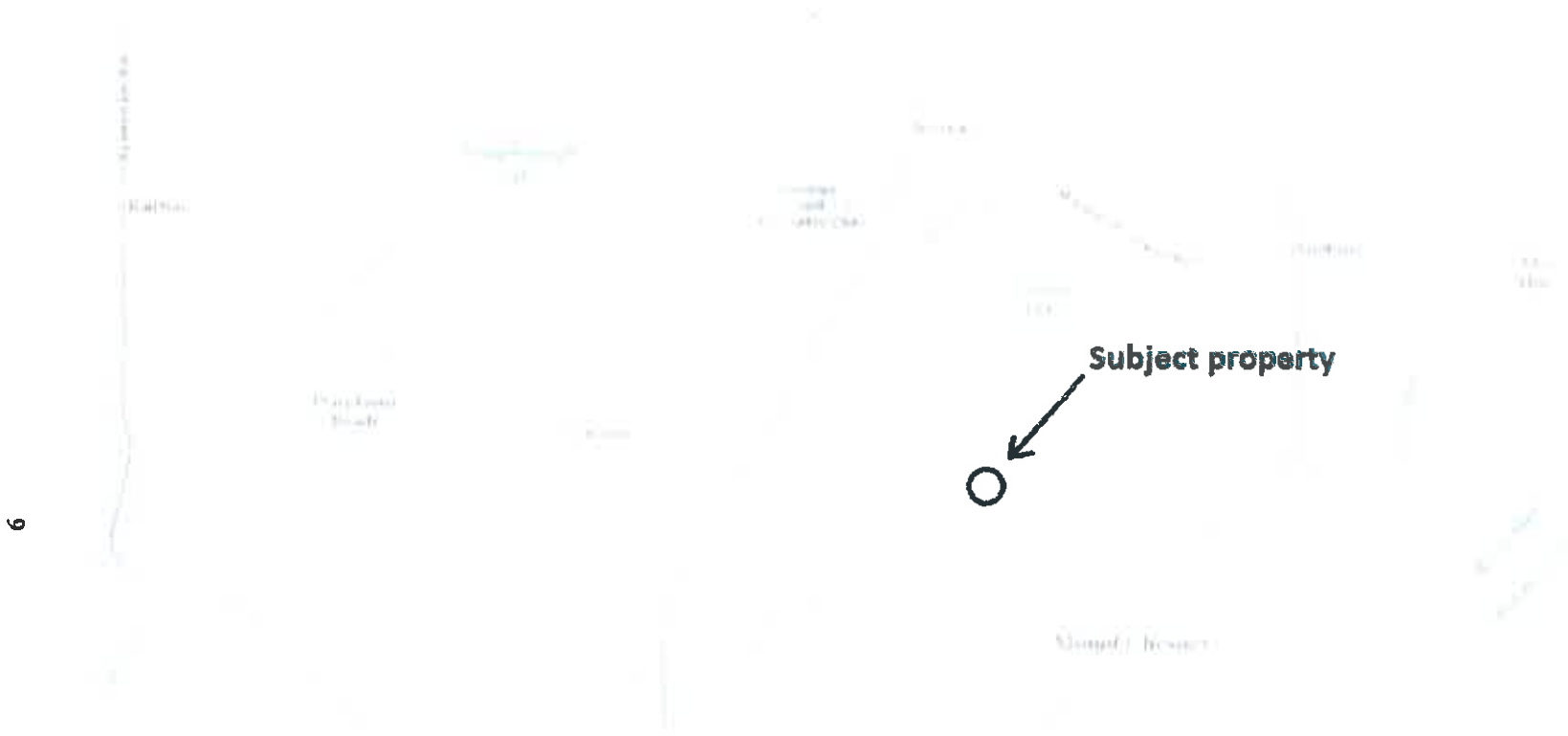
Environmental Site Evaluation Completed By: Megan Snetsinger

Date of Site Inspection: April 11, 2018 and April 22, 2018

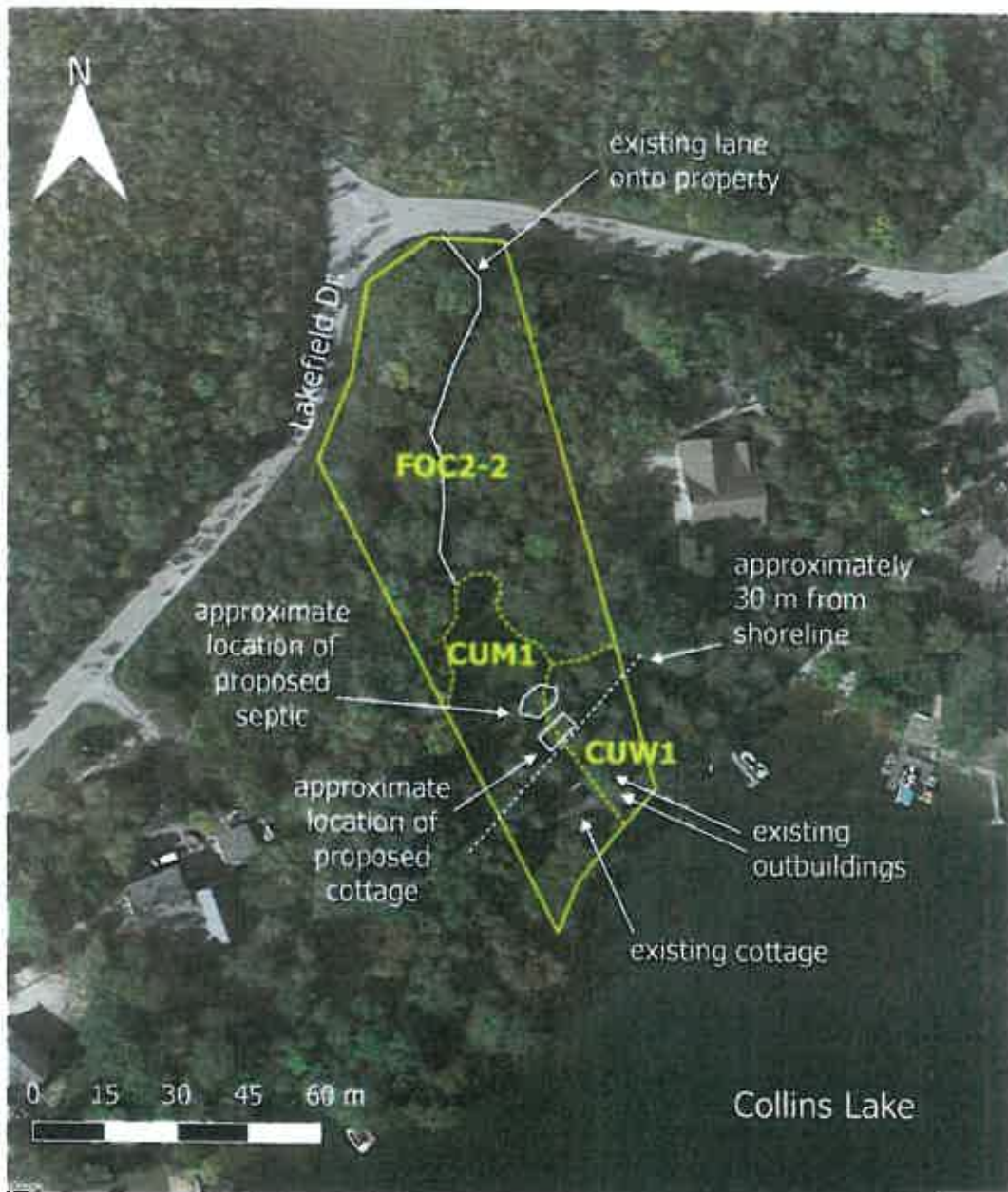
Date of Report: April 23, 2018

Signature:





Attachment 1. Section of Storrington District in the County of Frontenac from the Frontenac County interactive mapping viewer. The approximate location of the subject property is noted.



Attachment 2. Satellite image of the subject property (approximate lot outlined in yellow), showing existing and proposed features, as well as the division of ELC types (broken yellow lines). The broken white line indicates an approximate setback of 30 m from the shoreline. Base image from Google Earth.

Attachment 3. Site photographs, taken on site April 11, 2018.



Photo 1.
The White Cedar forest at the north end of the property. Note the garbage, typical of this site.



Photo 2.
Looking across the Cultural Meadow toward Collins Lake, to the southeast. The measuring tape shows the distance of 30 m to the shoreline. Note that the existing cottage falls within that 30 m.



Photo 3.
Looking across the Cultural Meadow to the northwest, from the edge of the lake. Note the existing cottage and the stake marking the property line.



Photo 4.
View along the shoreline of the property at Collins Lake. Note the rocky quality of the shoreline and the proximity of the existing cottage and other structure to the lake.